

SJB Architects



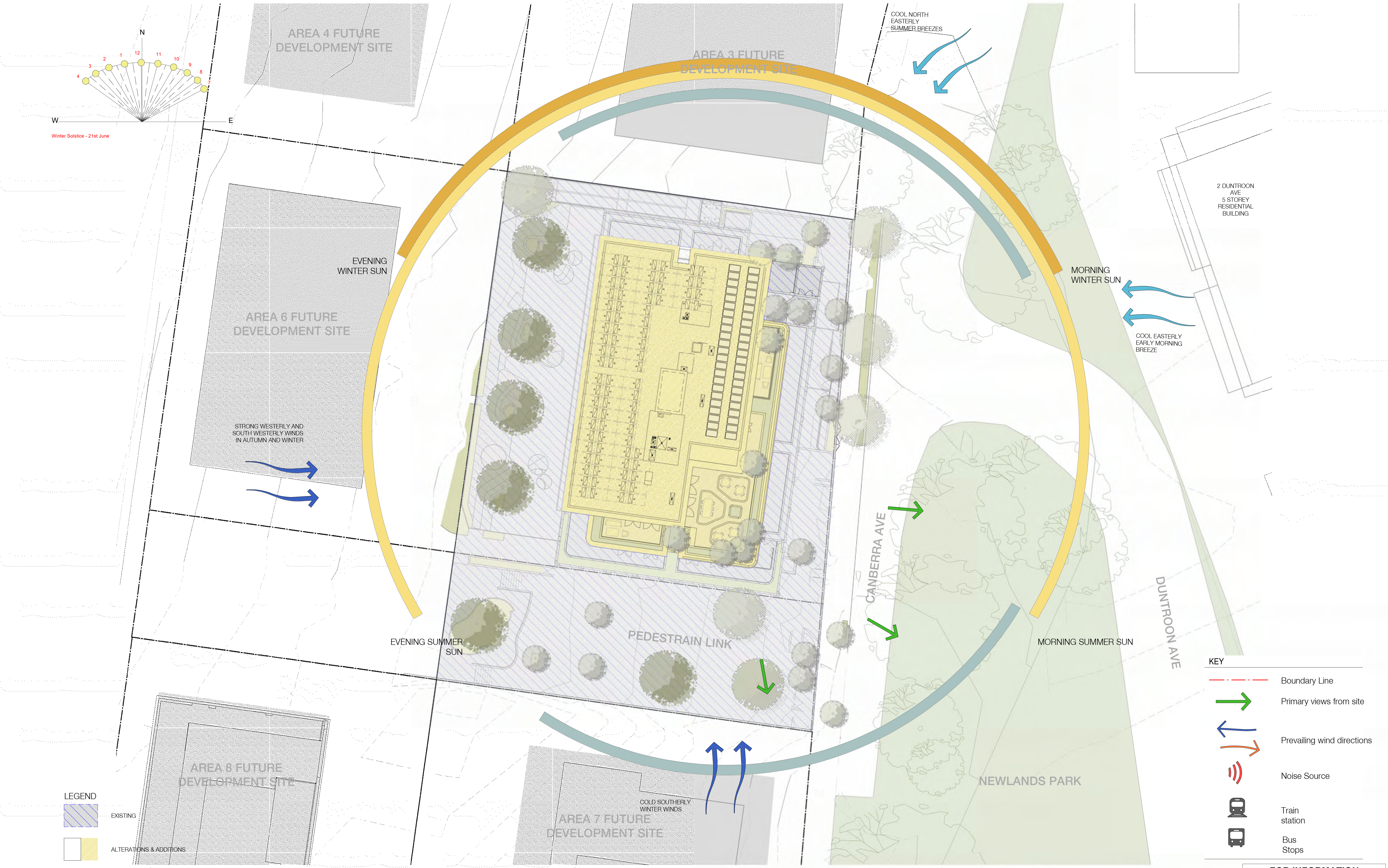
St Leonards

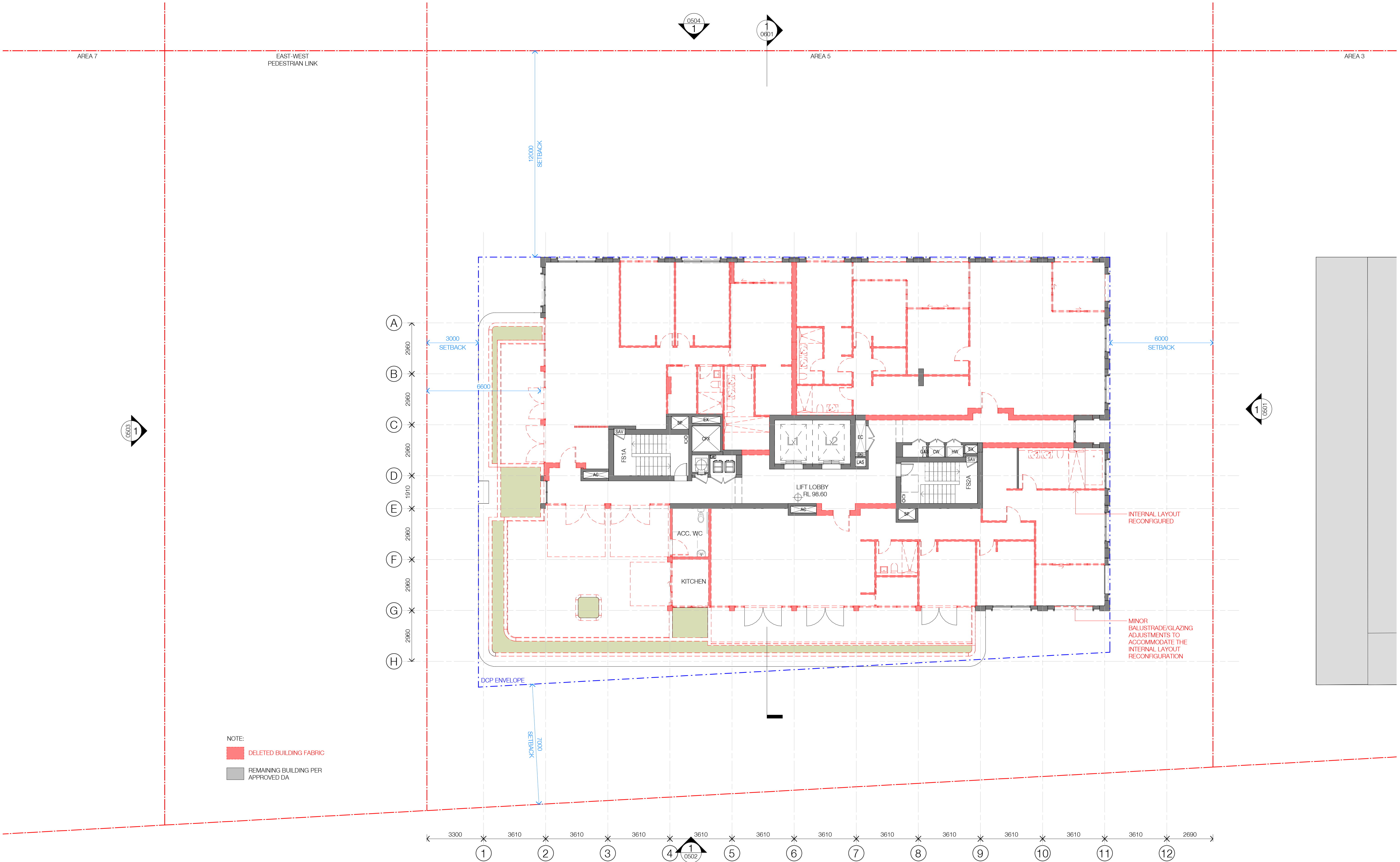
13-19 Canberra Ave
St Leonards

SJB Architects
Level 2, 490 Crown Street
Surry Hills NSW
2010 Australia
T 61 2 9380 9911
F 61 2 9380 9922

Project Number: 6429
Date: 05/04/2024
Client: HYECORP

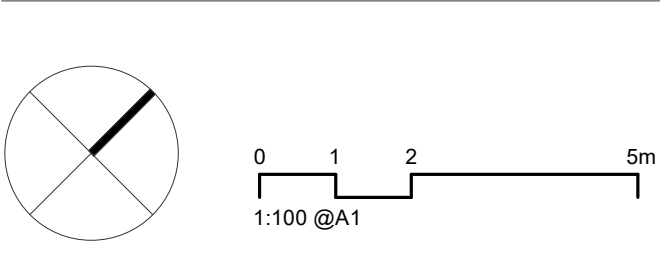




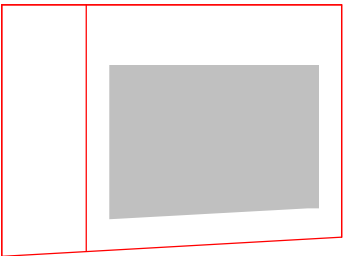


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Nominated Architects: Adam Haddow-7188 | John Pradel-7004



Rev	Date	Revision	By	Chk.
50	26/02/2024	FOR INFORMATION	LL	AH
51	05/04/2024	FOR INFORMATION	LL	AH



Client

HYECORP

Project

St Leonards
13-19 Canberra Ave
St Leonards
Drawing Name
FLOOR PLAN L12 - DELETION PLAN

Date

05/04/2024

Scale

1 : 100

Sheet Size

@ A1

Drawn

LL

Chk.

AH

Job No.

6429

Drawing No.

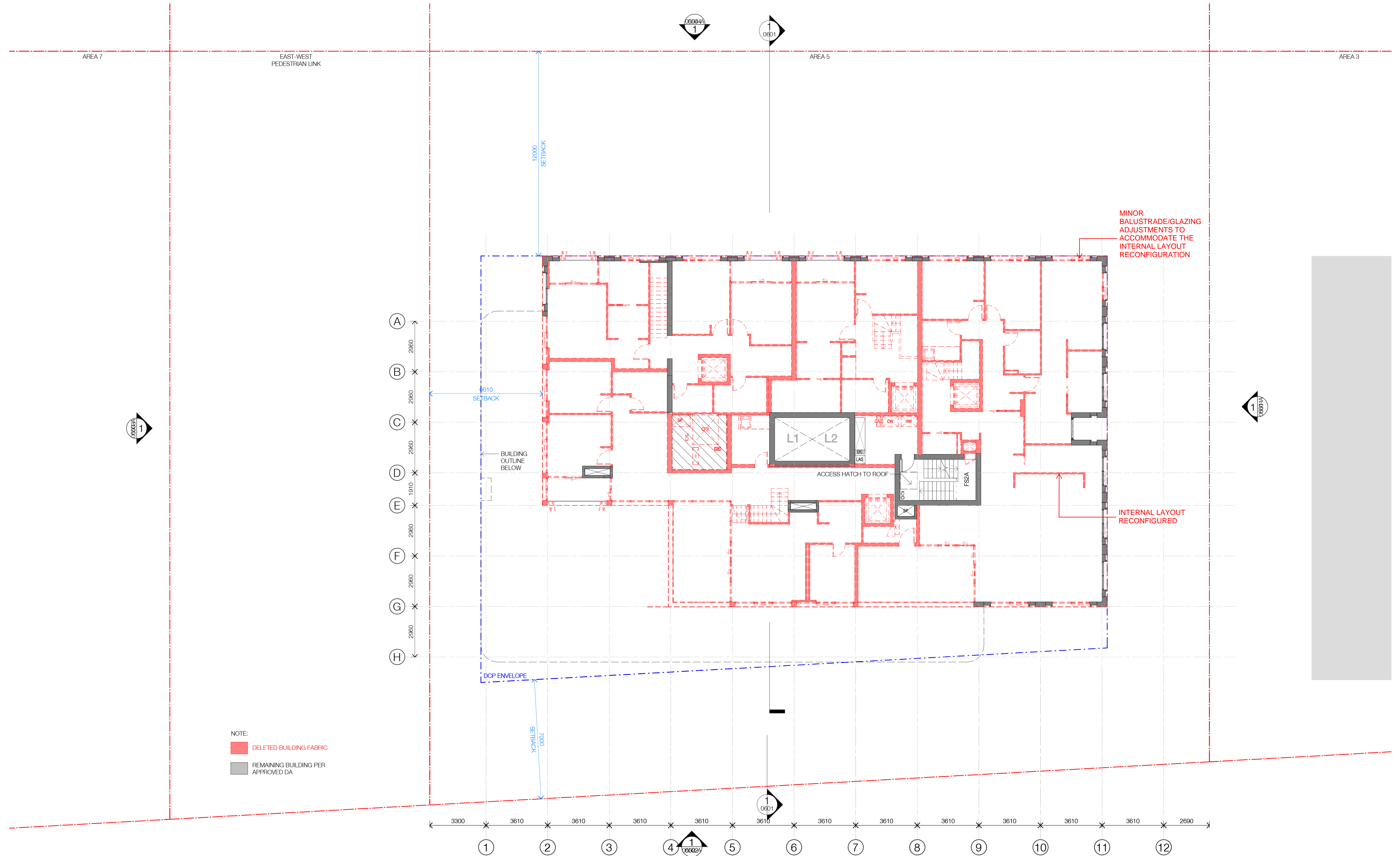
DA-0218-D

Revision

/ 51

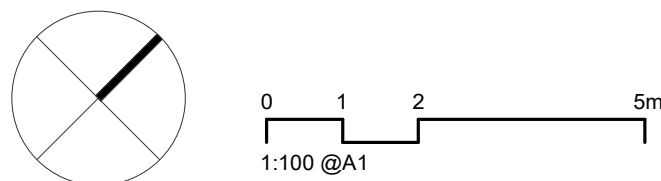
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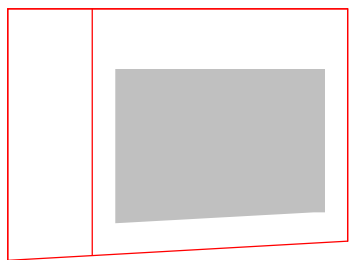


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Nominated Architects: Adam Haddow-7188 | John Pradel-7004



Rev	Date	Revision	By	Chk.
67	04/06/2024	FOR INFORMATION	YL	AH



Client

HYECORP

Project

St Leonards
13-19 Canberra Ave
St Leonards
Drawing Name
FLOOR PLAN L13 - DELETION PLAN

Date

04/06/2024 1 : 100

Drawn

Author

Drawing No.

DA-0219-D

Scale

Chk.

Checker

Revision

/ 67

Sheet Size

@ A1

Job No.

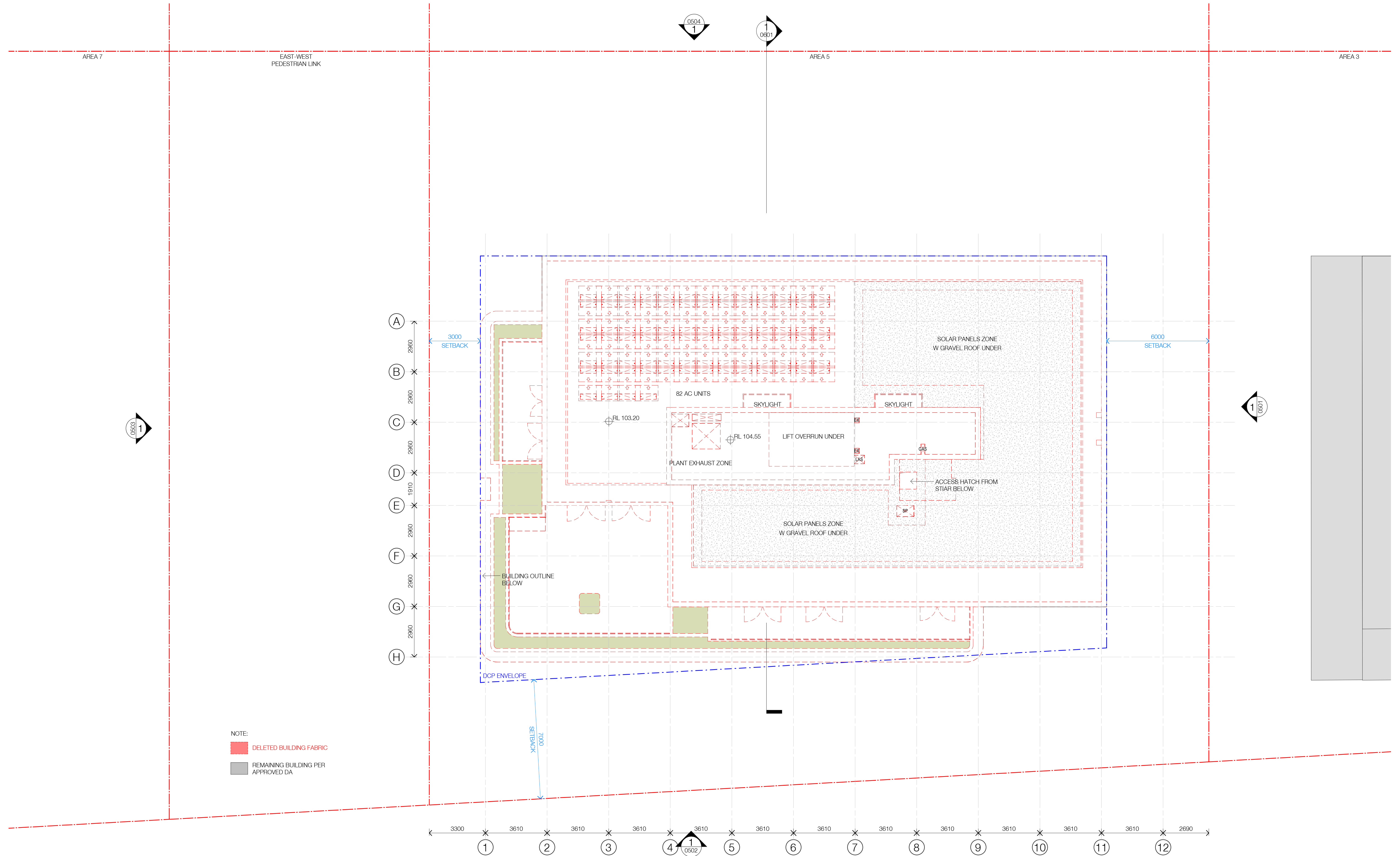
6429

Revision

/ 67

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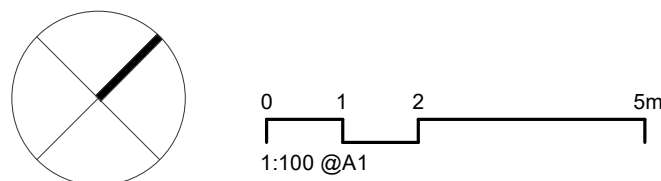


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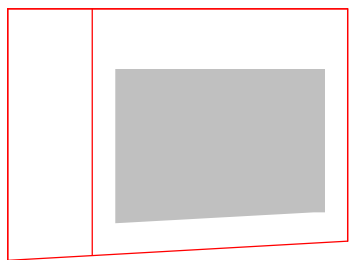
- DELETED BUILDING FABRIC
- REMAINING BUILDING PER APPROVED DA

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Nominated Architects: Adam Haddow-7188 | John Pradel-7004



Rev	Date	Revision	By	Chk.
51	05/04/2024	FOR INFORMATION	LL	AH



Client

HYECORP

Project

St Leonards
13-19 Canberra Ave
St Leonards
Drawing Name
ROOF PLAN - DELETION PLAN

Date

05/04/2024 1 : 100

Drawn

LL

Drawing No.

DA-0223-D

Chk.

AH

Sheet Size

@ A1

Job No.

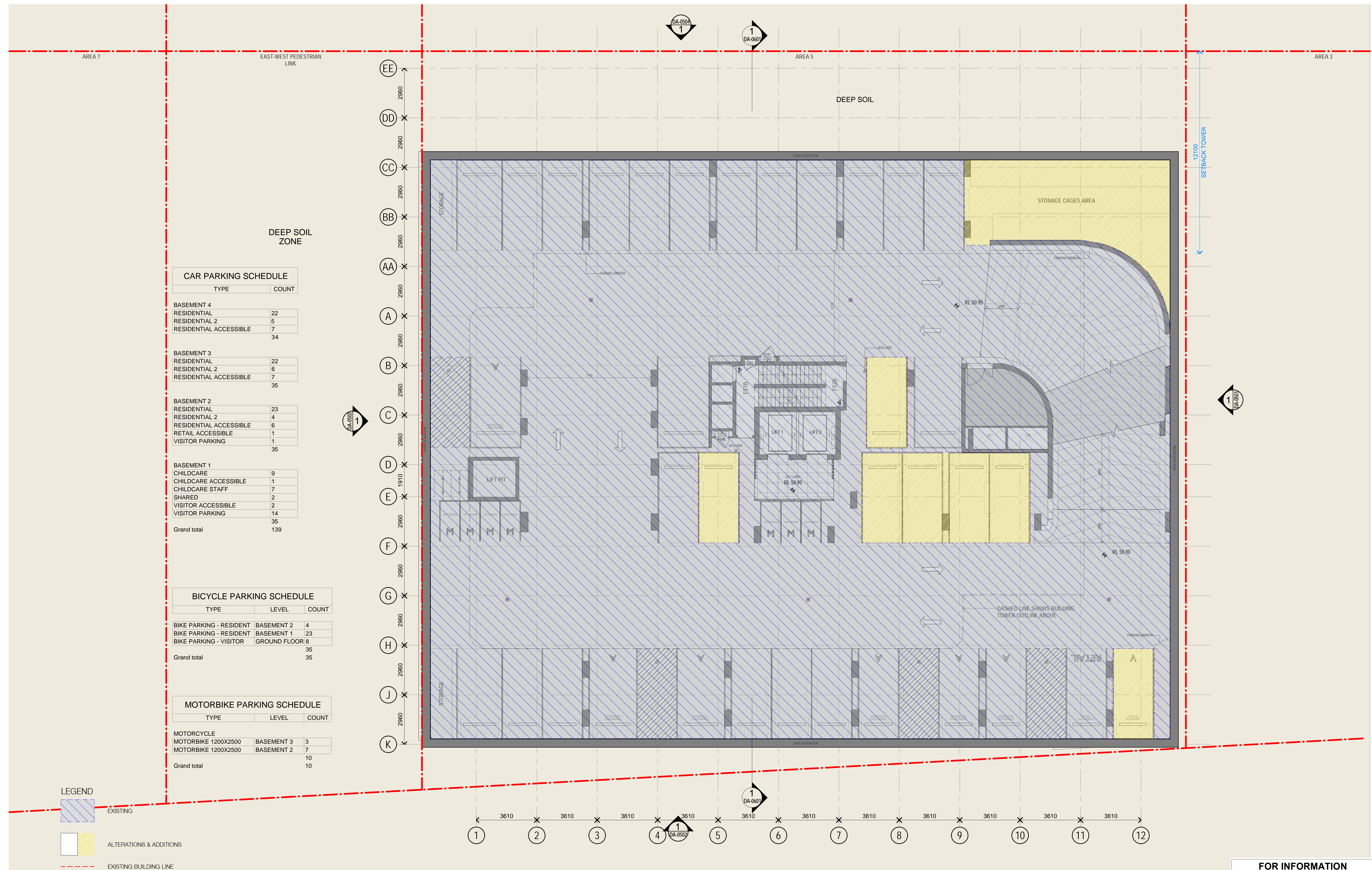
6429

Revision

/ 51

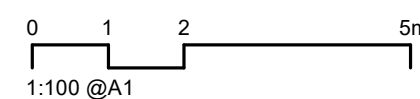
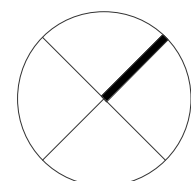
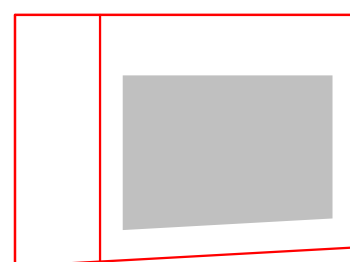
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Nominated Architects: Adam Haddow-7188 | John Pradel-7004

[illegible]

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Project

13-19 Canberra Ave, St Leonards

Drawing Name

FLOOR PLAN B2

Date _____ Scale _____ Sheet Size _____

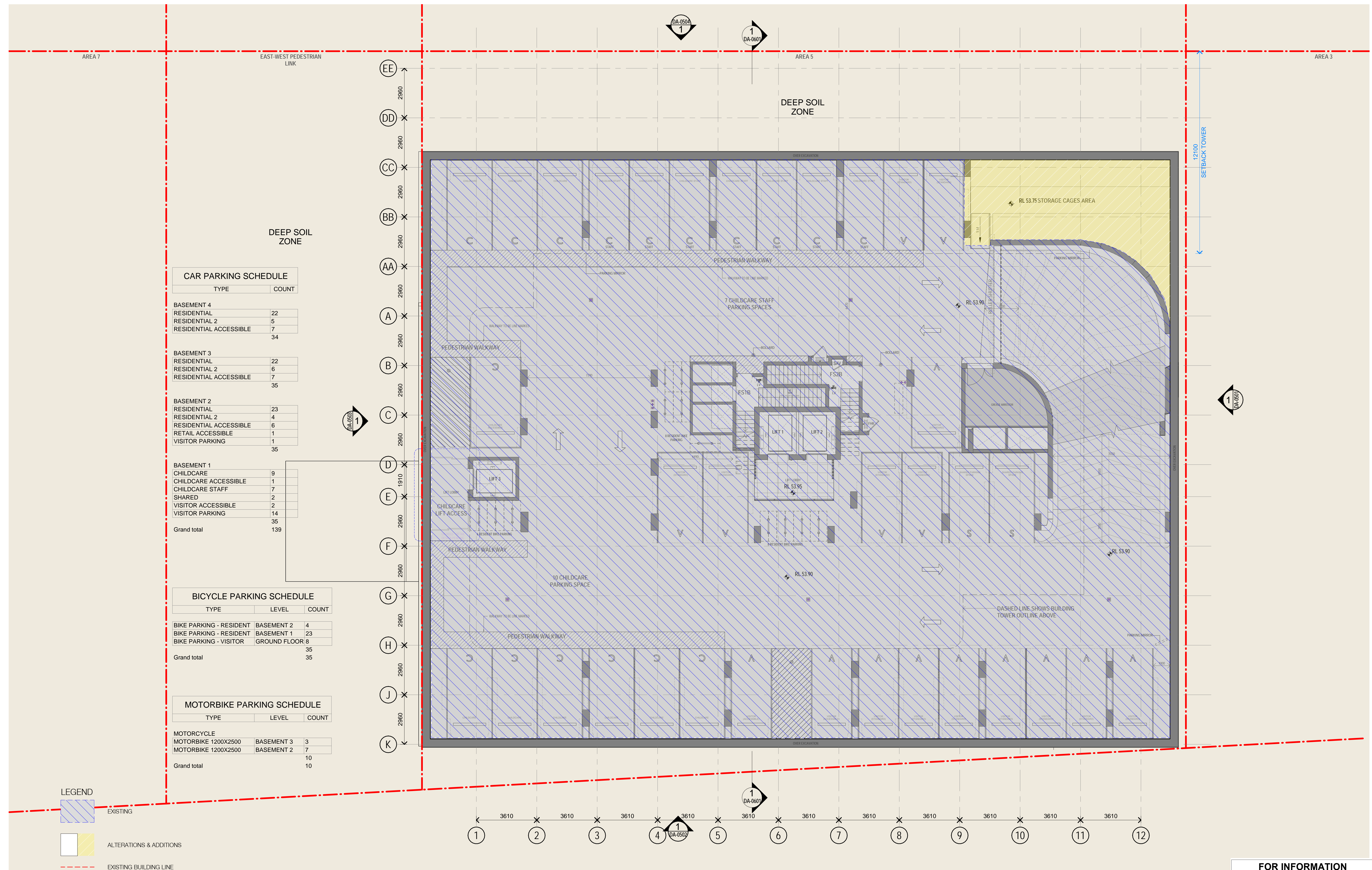
06/06/2024 As indicated @ A1

Drawn	Chk.	Job No.
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LL AH 6429

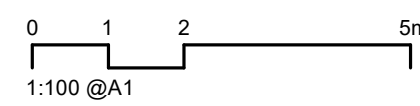
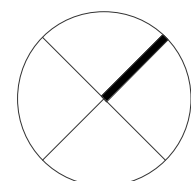
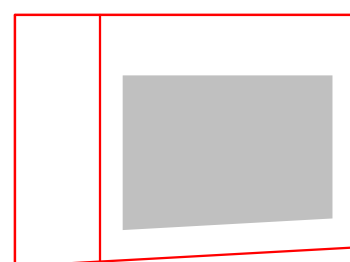
Drawing No.	Revision
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DA-0203-A / 67

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Nominated Architects: Adam Hadwood-7188 | John Pradel-7004

[illegible]

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Project

13-19 Canberra Ave, St Leonards

Drawing Name

FLOOR PLAN B1

Date _____ Scale _____ Sheet Size _____

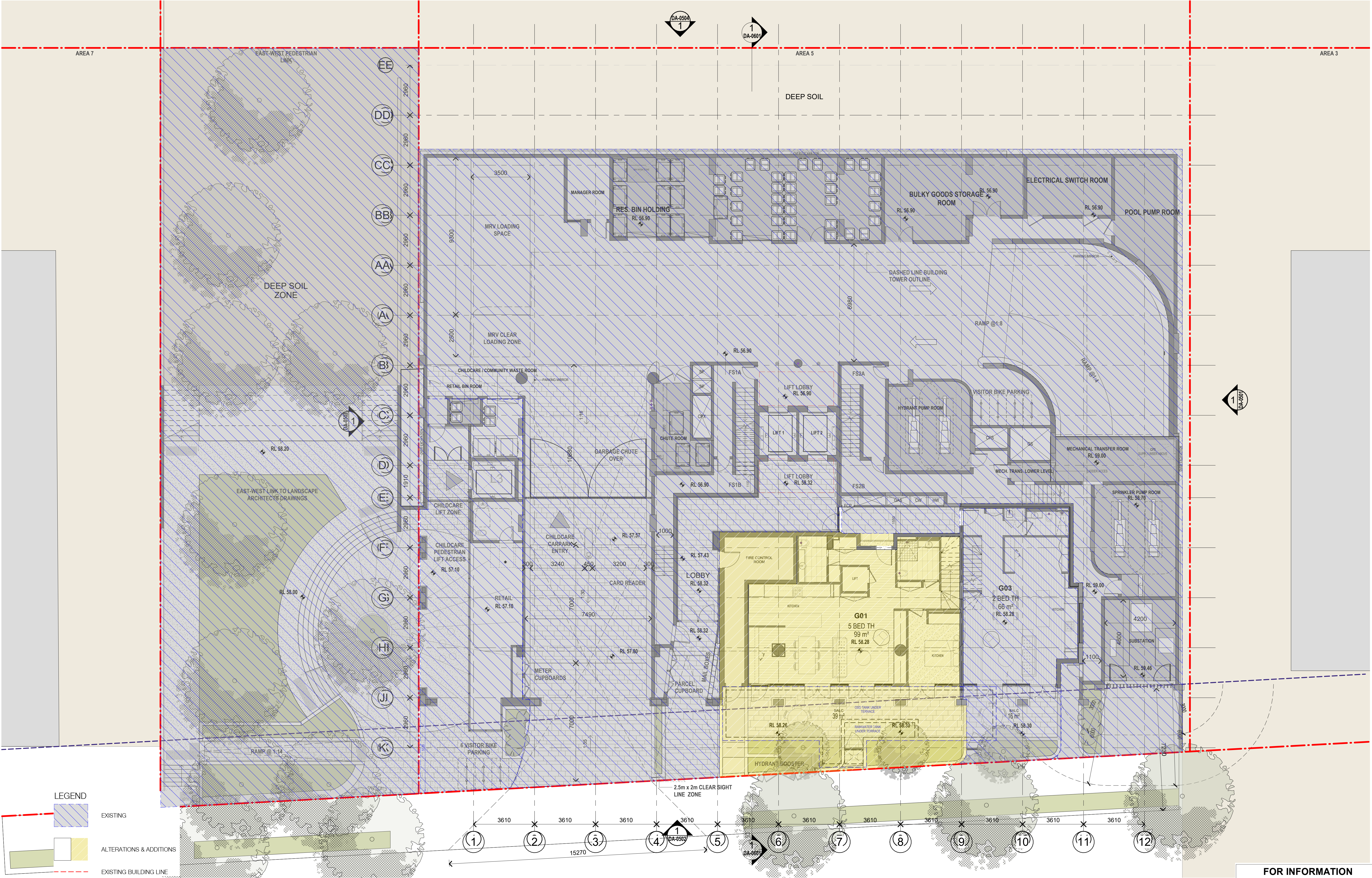
06/06/2024 As indicated @ A1

Drawn	Chk.	Job No.
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LL AH 6429

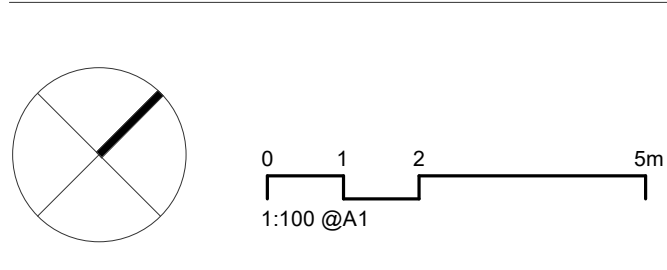
Drawing No.	Revision
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DA-0204-A / 67

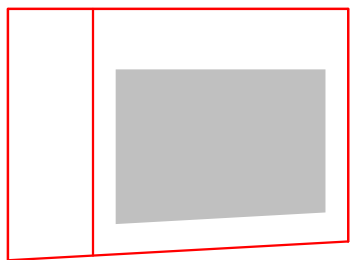


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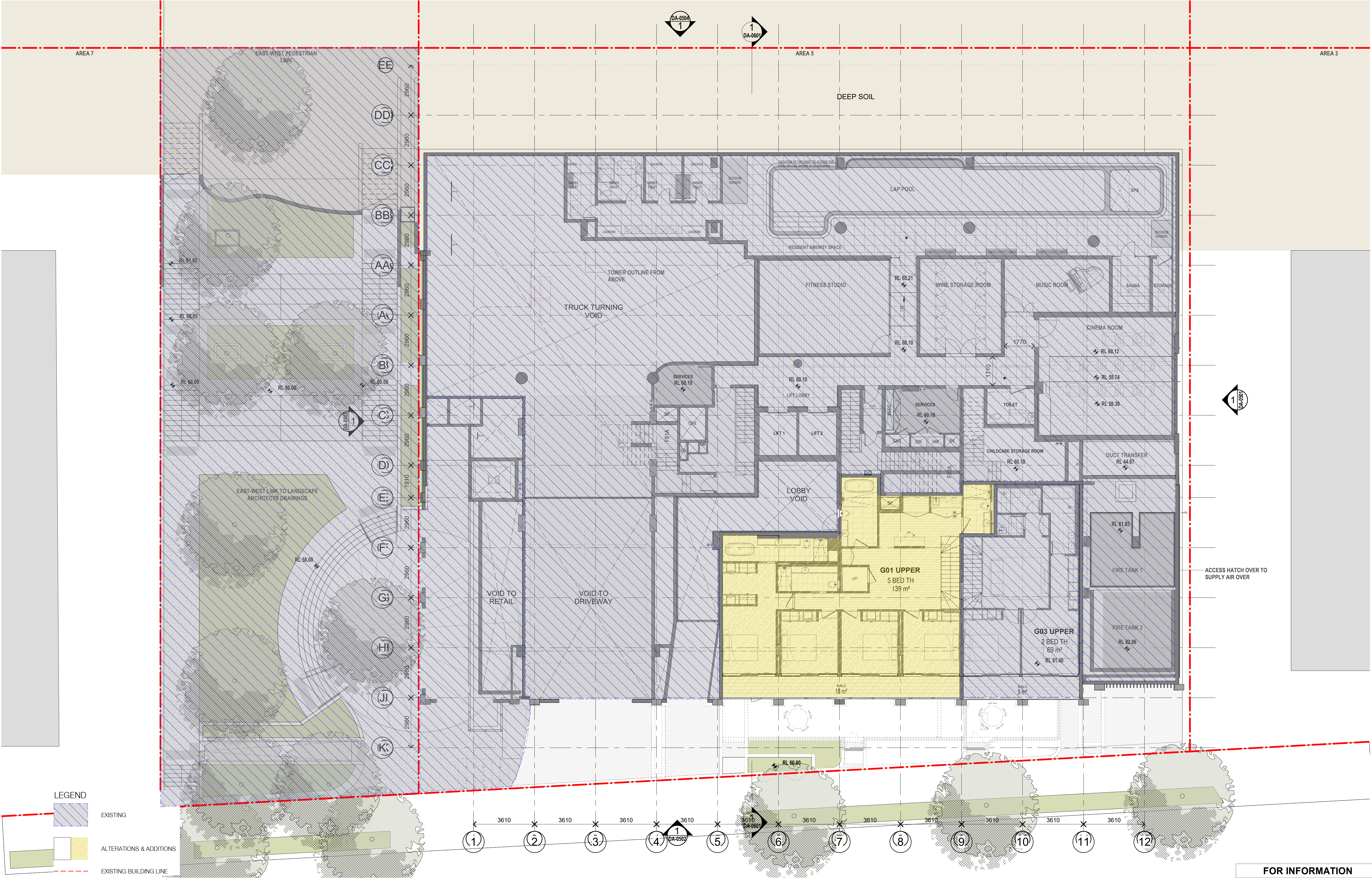
HYECORP

13-19 Canberra Ave, St Leonards

Drawing Name

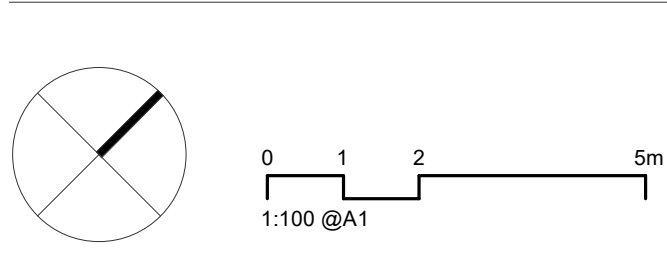
FLOOR PLAN GROUND

Date	Scale	Sheet Size
05/04/2024	As indicated	@ A1
Drawn	Chk.	Job No.
LL	AH	6429
Drawing No.	Revision	
DA-0205-A	/ 66	

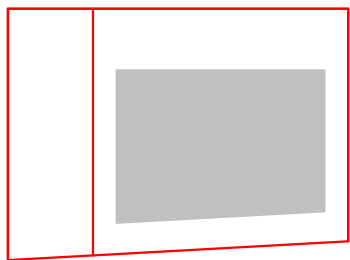


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Rev	Date	Revision	By	Chk.
66	05/04/2024	FOR INFORMATION	LL	AH



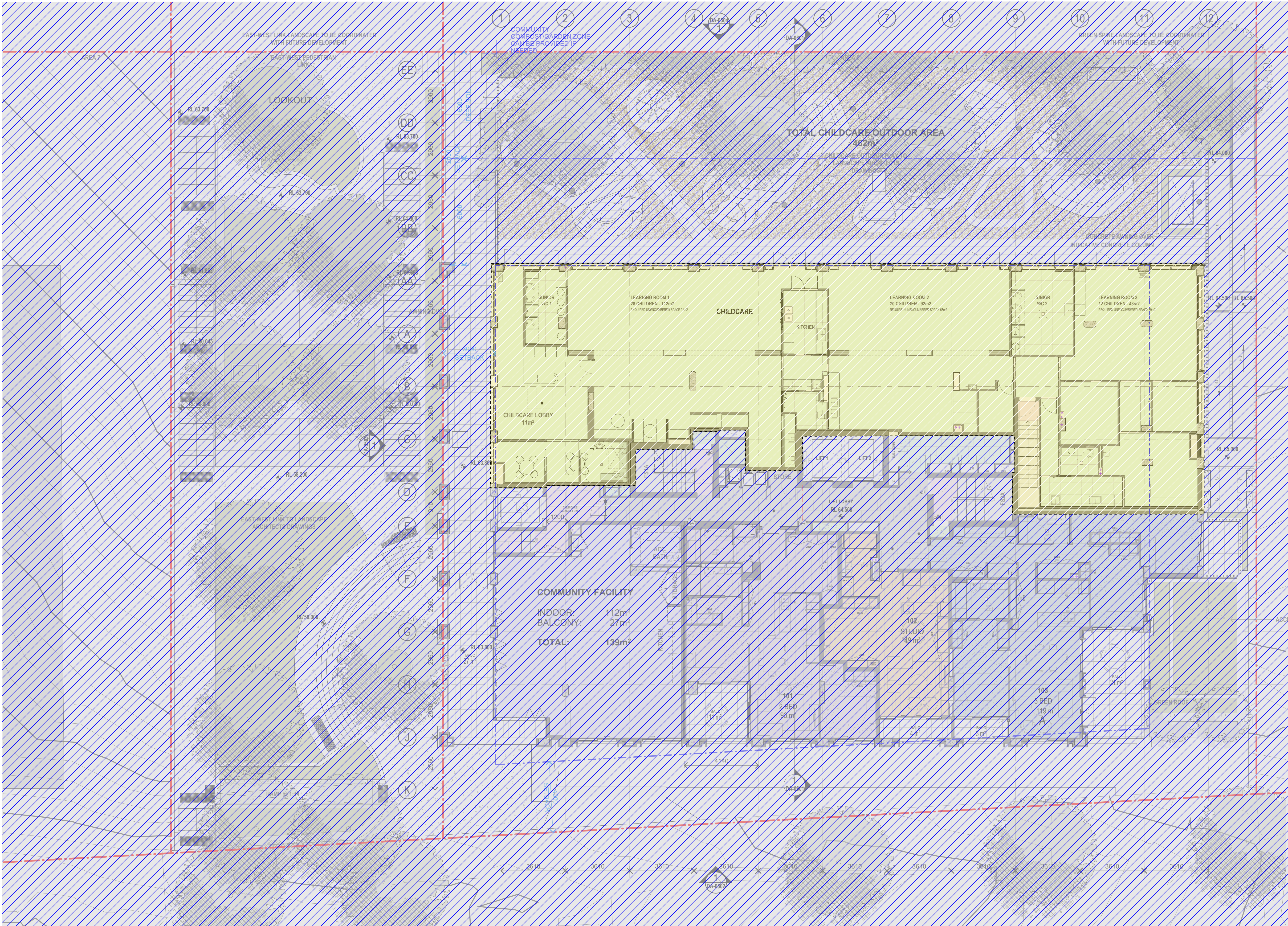
Client
HYECORP

Project
13-19 Canberra Ave, St Leonards

Drawing Name
FLOOR PLAN UPPER GROUND

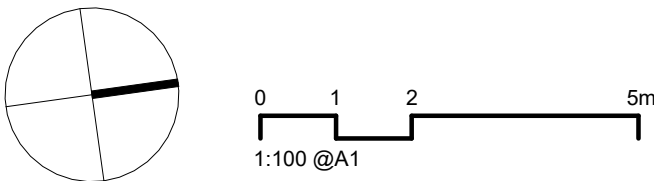
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LL	AH	6429
Drawn No.		Revision
DA-0206-A		/ 66

FOR INFORMATION

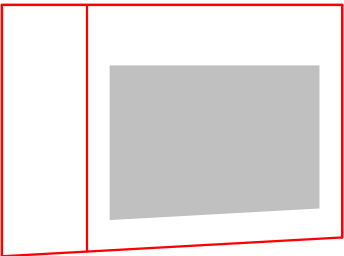


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Nominated Architects: Adam Haddow-7188 | John Pradel-7004



Rev	Date	Revision	By	Chk.
DA35	20/09/2021	FOR INFORMATION	LL	AH
DA36	24/09/2021	FINAL DRAFT FOR DA	LL	AH
DA40	08/10/2021	FINAL DRAFT FOR DA	LL	AH
DA42	13/10/2021	FOR DA APPLICATION	LL	AH
DA45	29/04/2022	RESPONSE TO RFI	LL	AH
DA46	06/06/2022	CHILDCARE UPDATE	LL	AH
DA49	14/10/2022	FOR S4.55 MODIFICATION	AM	MS
DA50	18/11/2022	ISSUED FOR MOD3	AM	ST
DA51	31/03/2023	ISSUED FOR MOD 6	RP	
DA66	11/06/2024	FOR INFORMATION	AM	



Client

HYECORP

Project

13-19 Canberra Ave, St Leonards

Drawing Name

FLOOR PLAN L1

Date

11/06/2024

Scale

1 : 100

Sheet Size

@ A1

Drawn

AM

Chk.

AM

Job No.

6429

Drawing No.

DA-0207

Revision

/ DA66

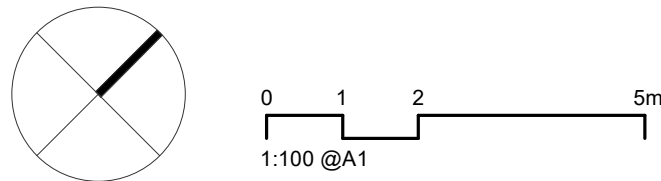


LEGEND

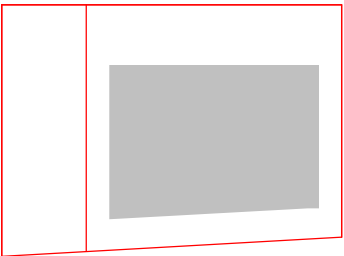
- EXISTING
- ALTERATIONS & ADDITIONS
- EXISTING BUILDING LINE

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66	05/04/2024	FOR INFORMATION	LL	AH



Client

HYECORP

Project

St Leonards
13-19 Canberra Ave
St Leonards
Drawing Name
FLOOR PLAN L12-15

Date

05/04/2024

Scale

As indicated

Sheet Size

@ A1

Drawn

LL

Chk.

AH

Job No.

6429

Drawing No.

DA-0218-A

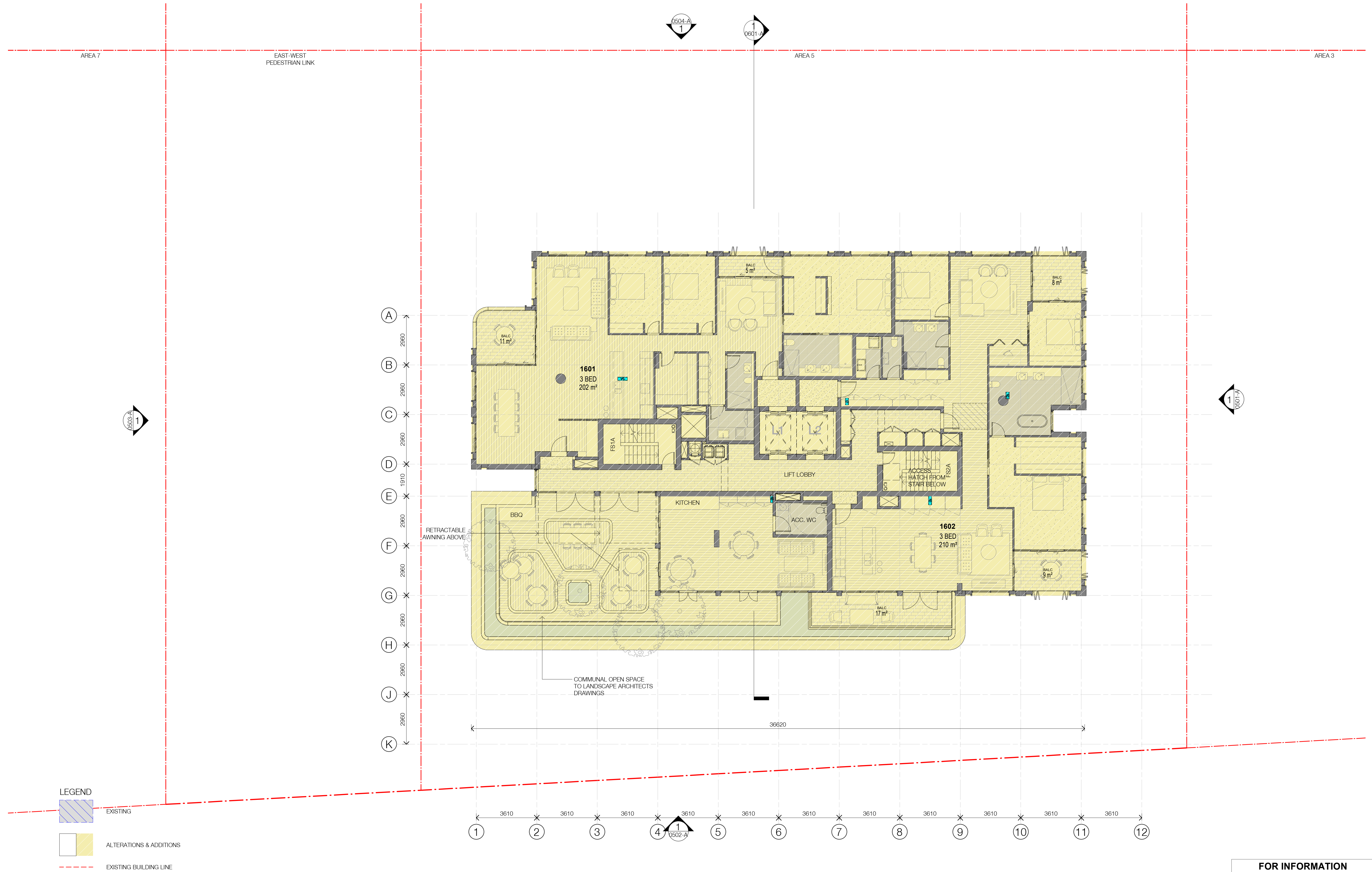
Revision

/ 66

FOR INFORMATION

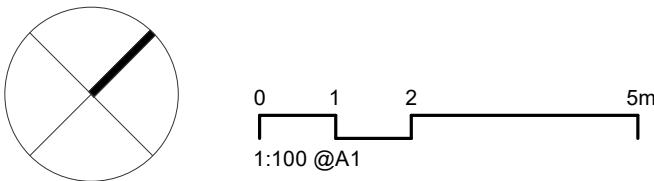
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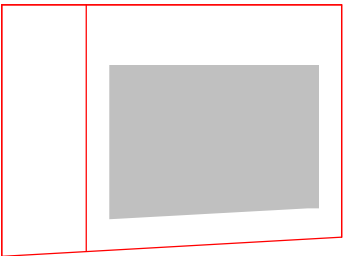


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Rev	Date	Revision	By	Chk.
66	05/04/2024	FOR INFORMATION	LL	AH



Client

HYECORP

Project

St Leonards
13-19 Canberra Ave
St Leonards

Drawing Name
FLOOR PLAN L16

Date	Scale	Sheet Size
05/04/2024	As indicated	@ A1
Drawn	Chk.	Job No.
LL	AH	6429
Drawing No.	Revision	
DA-0221-A	/ 66	

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LEGEND

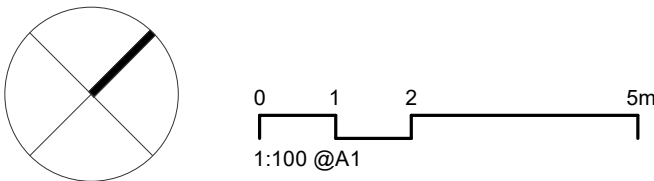
EXISTING

ALTERATIONS & ADDITIONS

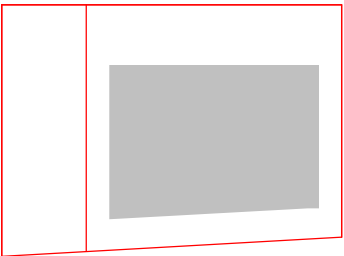
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Rev	Date	Revision	By	Chk.
66	05/04/2024	FOR INFORMATION	LL	AH



Client

HYECORP

Project

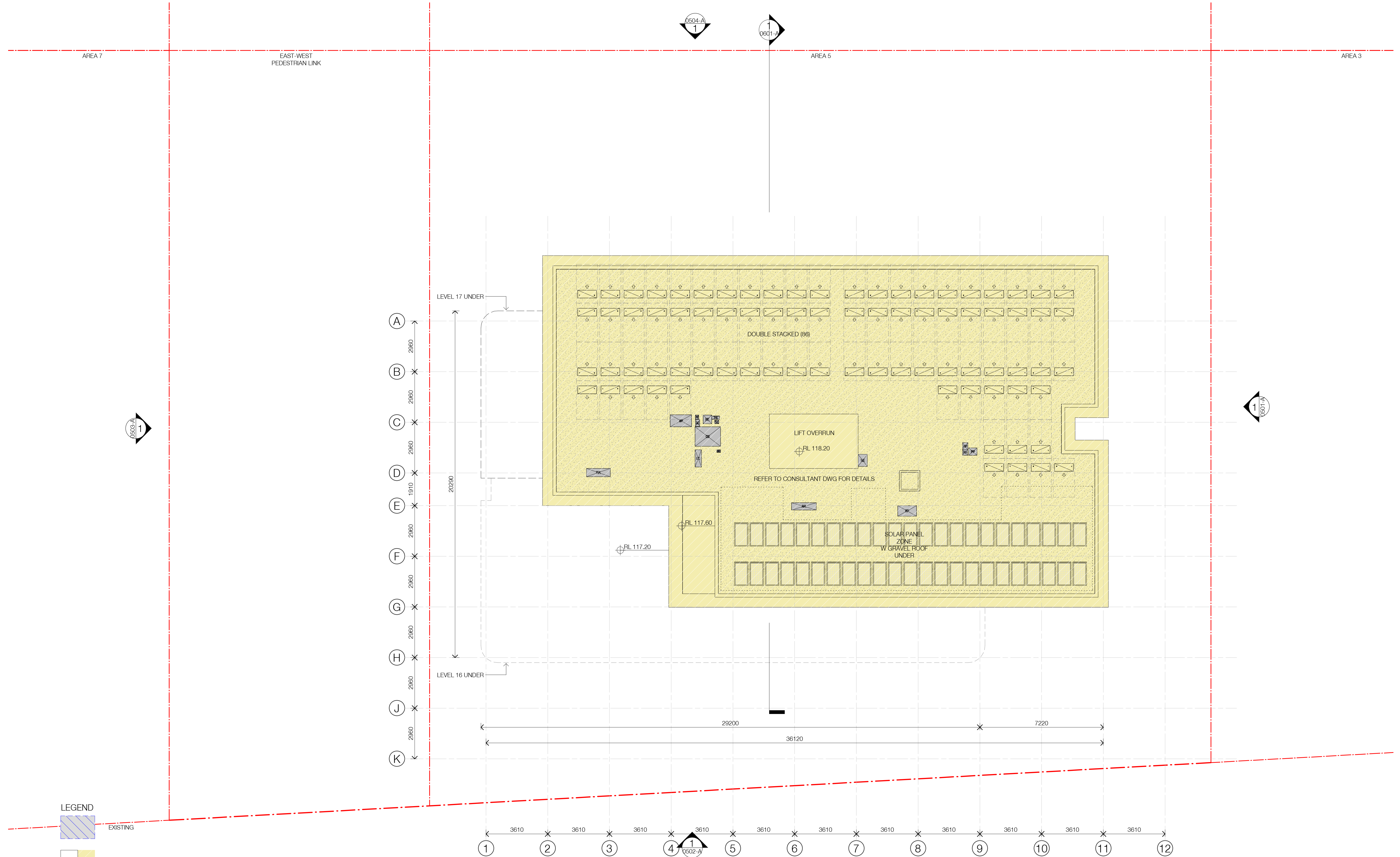
St Leonards
13-19 Canberra Ave
St Leonards

Drawing Name
FLOOR PLAN L17

Date	Scale	Sheet Size
05/04/2024	As indicated	@ A1
Drawn	Chk.	Job No.
LL	AH	6429
Drawing No.	Revision	
DA-0222-A	/ 66	

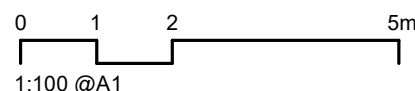
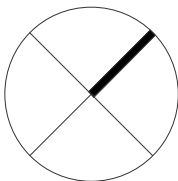
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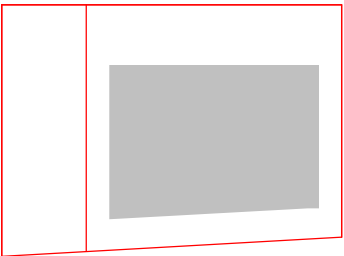


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66	05/04/2024	FOR INFORMATION	LL	AH



Client

HYECORP

Project

St Leonards
13-19 Canberra Ave
St Leonards

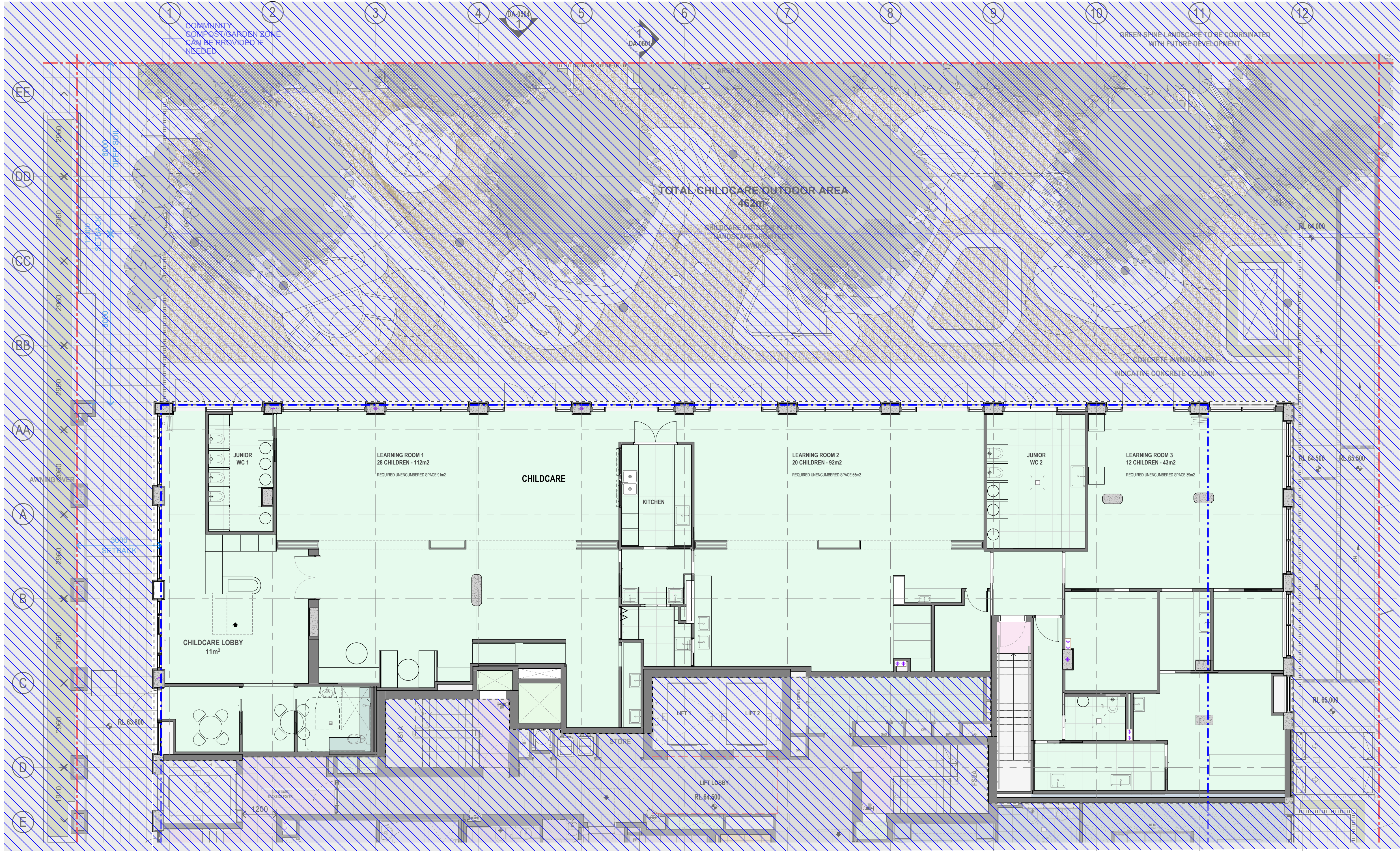
Drawing Name
ROOF PLAN

Date	Scale	Sheet Size
05/04/2024	As indicated	@ A1
Drawn	Chk.	Job No.
LL	AH	6429
Drawing No.	Revision	
DA-0223-A	/ 66	

FOR INFORMATION

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CHILDREN AREA

NO. CHILDREN	RATIOS	m² PER CHILD	AREA REQUIRED	AREA PROPOSED
60 CHILDREN	INTERNAL UNENCUMBERED	3.25m²	195m²	207m²
60 CHILDREN	EXTERNAL	7m²	420m²	462m²
TOTAL		10.25m²	615m²	669m²

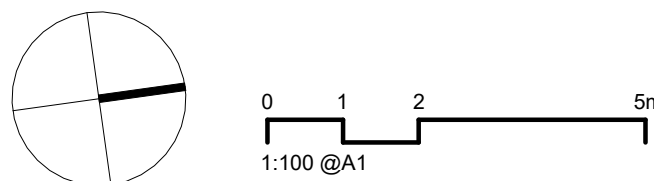
STAFF RATIOS

AGE GROUPS	CHILD NO.	RATIO	STAFF REQUIRED
BABIES 0-2	12	1:4	3
TODDLERS 2-3	20	1:5	4
PRESCHOOL 3-5	28	1:10	3
ADMIN + COOK			2 + 1
TOTAL	60		13

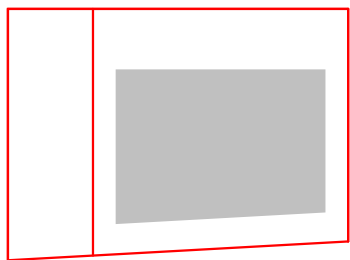
AREA SUMMARY

462m² OUTDOOR PLAY
207m² INDOOR PLAY
36m² INDOOR STORAGE ON L1
23m² INDOOR STORAGE ON UPPER GROUND
2.5m² OUTDOOR STORAGE

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Rev	Date	Revision	By	Chk.
DA28	18/08/2021	FOR COORDINATION	LL	AH
DA29	27/08/2021	FOR INFORMATION	LL	AH
DA32	03/09/2021	FINAL DRAFT FOR DA	LL	AH
DA35	20/09/2021	FOR INFORMATION	LL	AH
DA36	24/09/2021	FINAL DRAFT FOR DA	LL	AH
DA40	08/10/2021	FINAL DRAFT FOR DA	LL	AH
DA42	13/10/2021	FOR DA APPLICATION	LL	AH
DA45	29/04/2022	RESPONSE TO RFI	LL	AH
DA46	06/06/2022	CHILD CARE UPDATE	LL	AH
DA66	11/06/2024	FOR INFORMATION	AM	



Client

HYECORP

Project

13-19 Canberra Ave, St Leonards

Drawing Name
CHILD CARE - LEVEL 1 DETAIL PLAN

Date

11/06/2024

Scale

1 : 75

Sheet Size

@ A1

Drawn

AM

Chk.

AM

Job No.

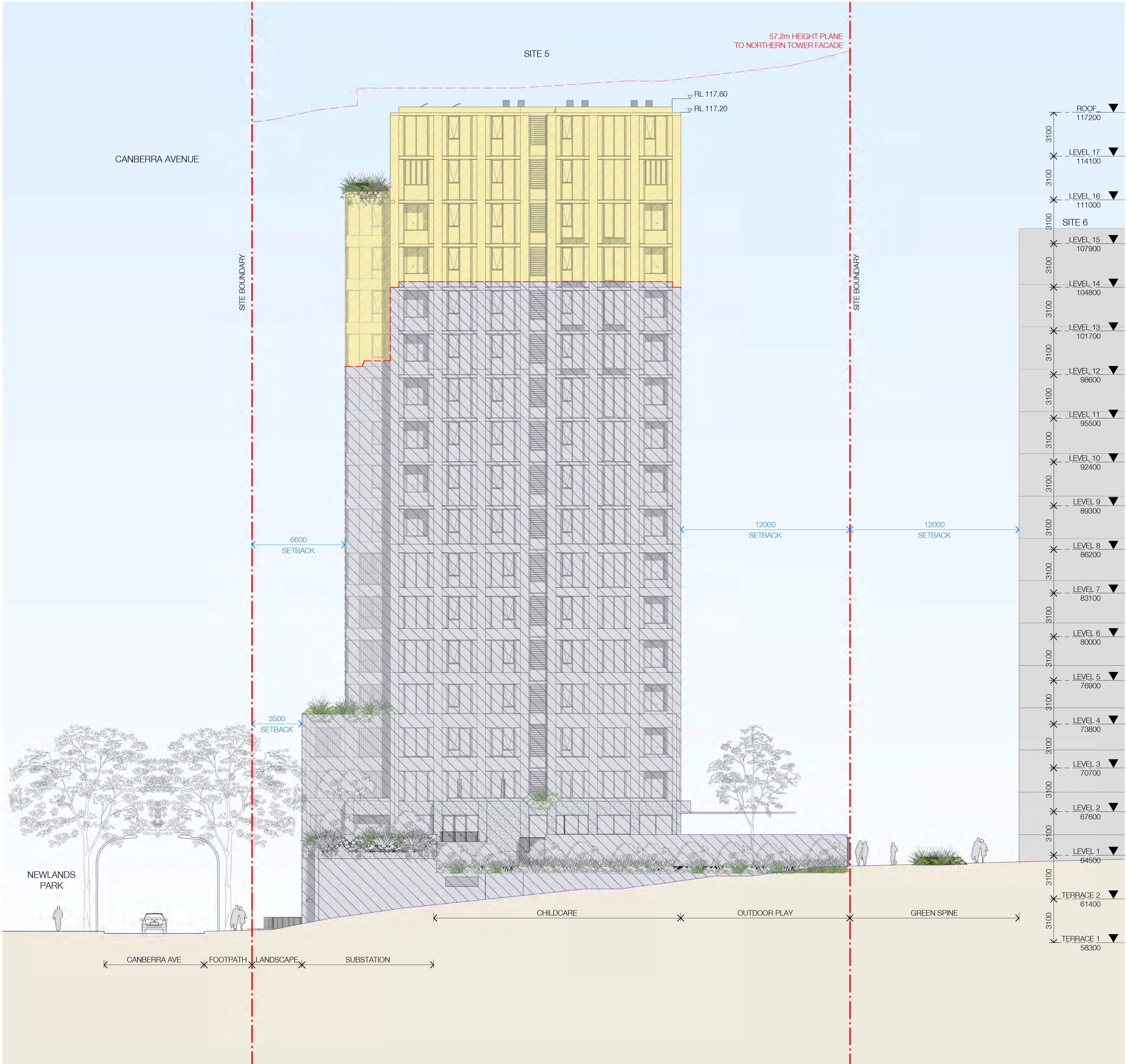
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Drawing No.

DA-5010

Revision

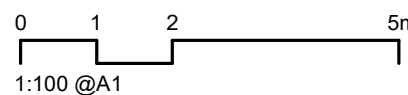
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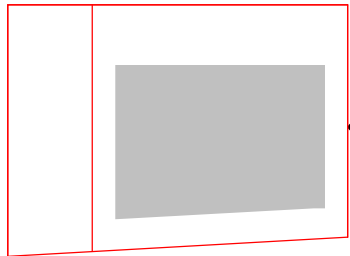
- LEGEND
- EXISTING
 - ALTERATIONS & ADDITIONS
 - EXISTING BUILDING LINE

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Rev	Date	Revision	By	Chk.
66	05/04/2024	FOR INFORMATION	LL	AH
68	07/06/2024	FOR INFORMATION	YL	AH



Client

HYECORP

Project

St Leonards
13-19 Canberra Ave
St Leonards
Drawing Name
NORTH ELEVATION

Date

07/06/2024 1 : 150

Drawn

LL

Drawing No.

DA-0501-A

Scale

1 : 150

Chk.

AH

Revision

/ 68

Sheet Size

@ A1

Job No.

6429

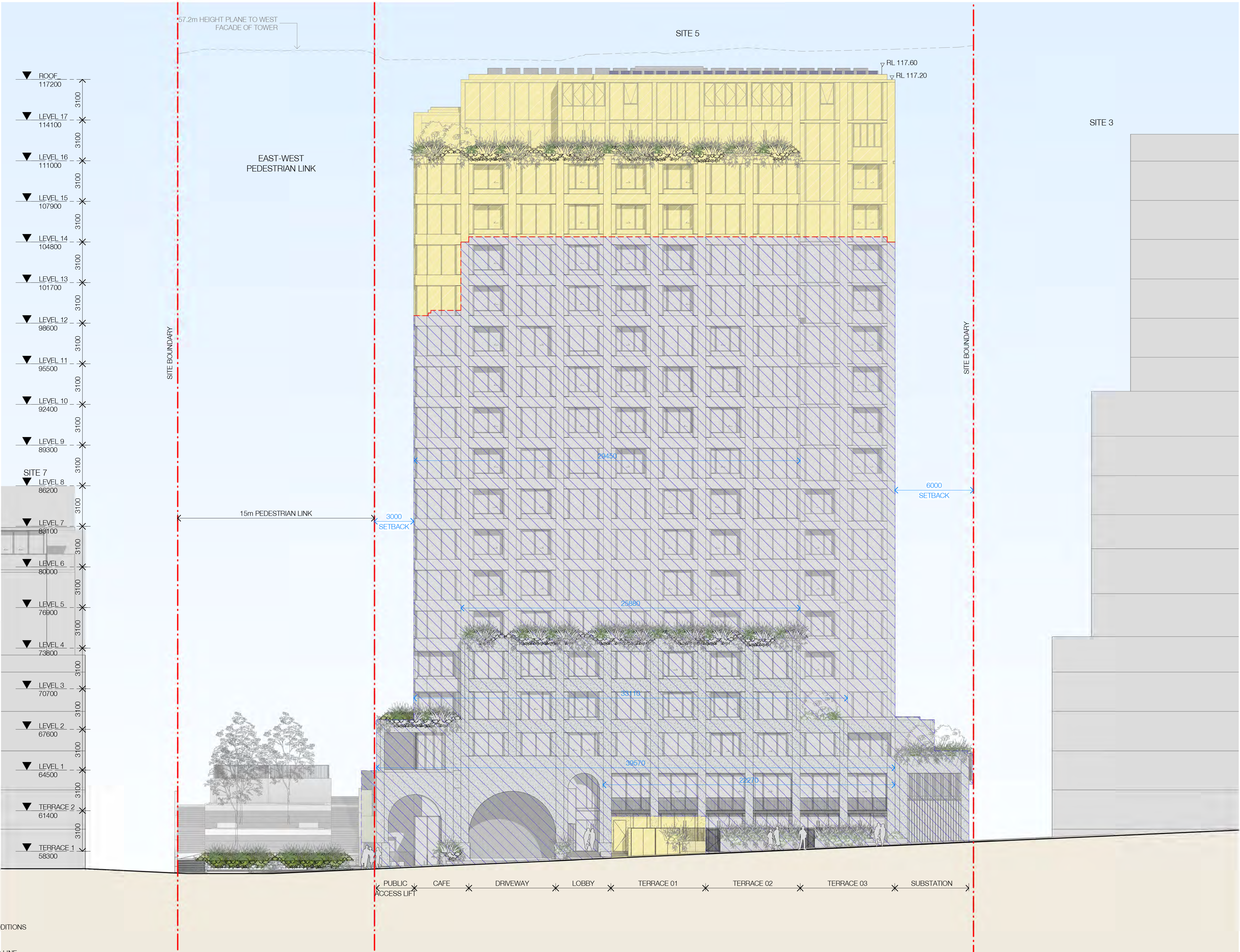
Revision

/ 68

FOR INFORMATION

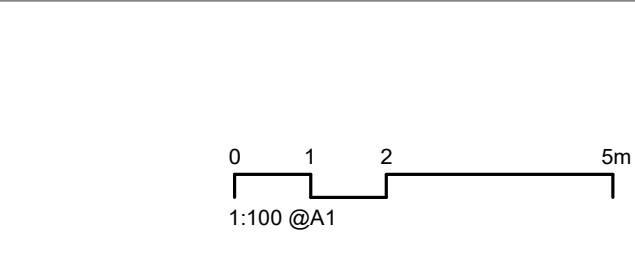
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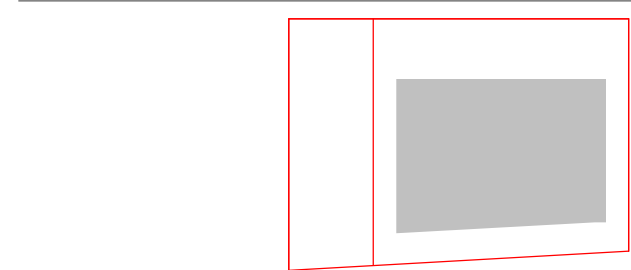


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Rev	Date	Revision	By	Chk.
66	05/04/2024	FOR INFORMATION	LL	AH
68	07/06/2024	FOR INFORMATION	YL	AH



Client

HYECORP

Project

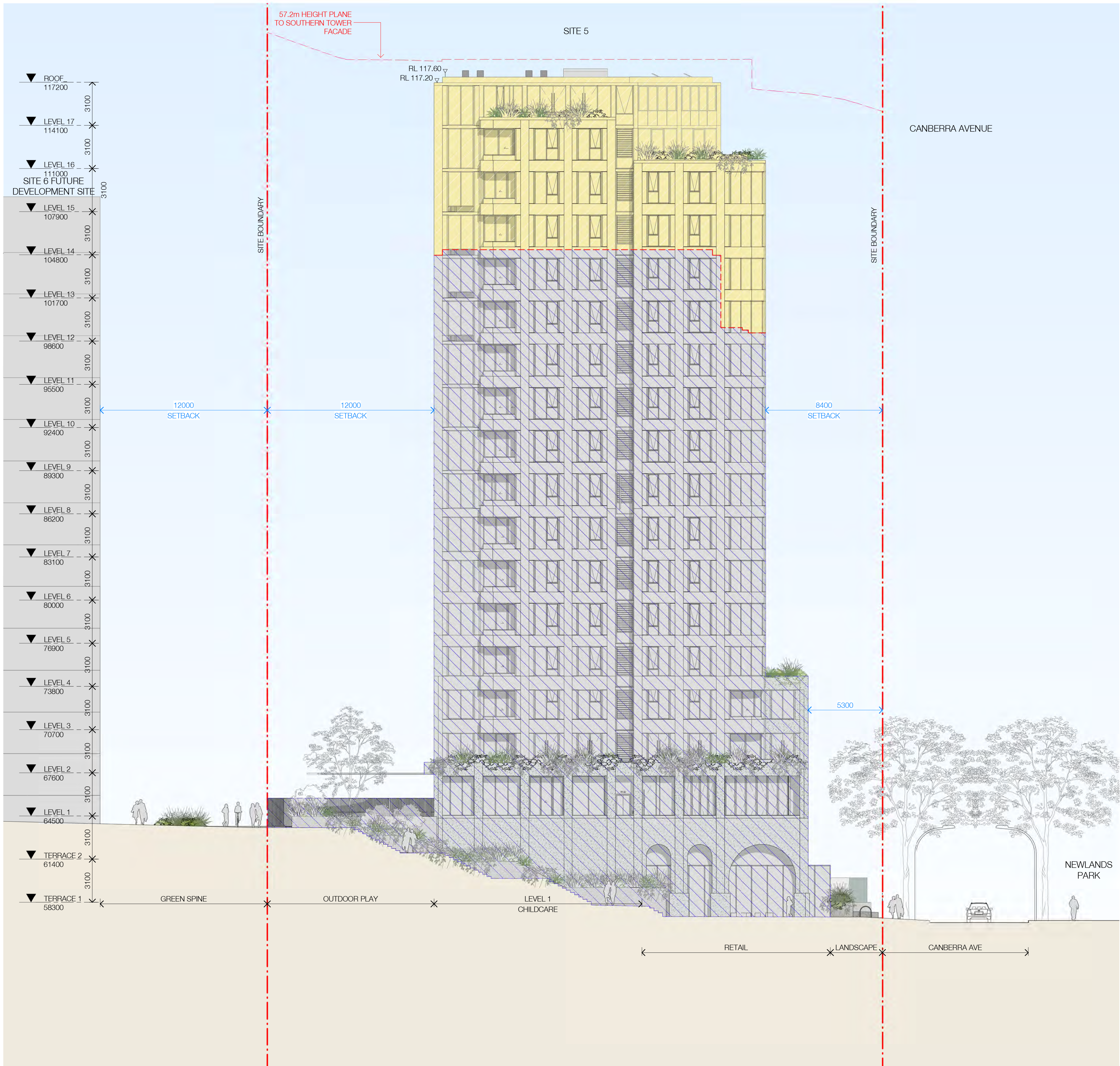
St Leonards
13-19 Canberra Ave
St Leonards
Drawing Name
EAST ELEVATION

Date	Scale	Sheet Size
07/06/2024	1 : 150	@ A1
Drawn	Chk.	Job No.
LL	AH	6429
Drawing No.	Revision	
DA-0502-A	/ 68	

FOR INFORMATION

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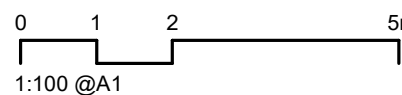
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2010 Australia
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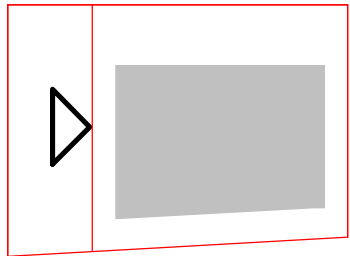
- LEGEND
- EXISTING
 - ALTERATIONS & ADDITIONS
 - EXISTING BUILDING LINE

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Rev	Date	Revision	By	Chk.
66	05/04/2024	FOR INFORMATION	LL	AH
68	07/06/2024	FOR INFORMATION	YL	AH



Client

HYECORP

Project

St Leonards
13-19 Canberra Ave
St Leonards
Drawing Name
SOUTH ELEVATION

Date

07/06/2024 1 : 150

Drawn

LL

Drawing No.

DA-0503-A

Scale

Chk.

AH

Revision

/ 68

Sheet Size

@ A1

Job No.

6429

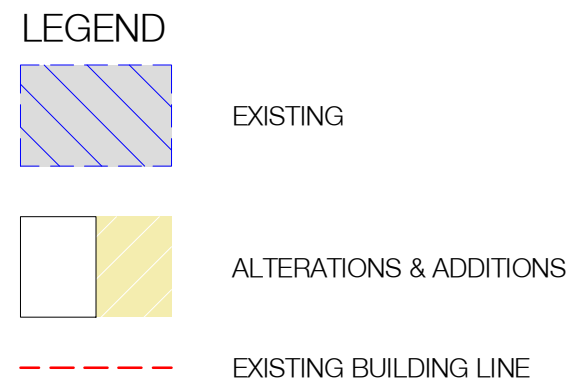
Revision

/ 68

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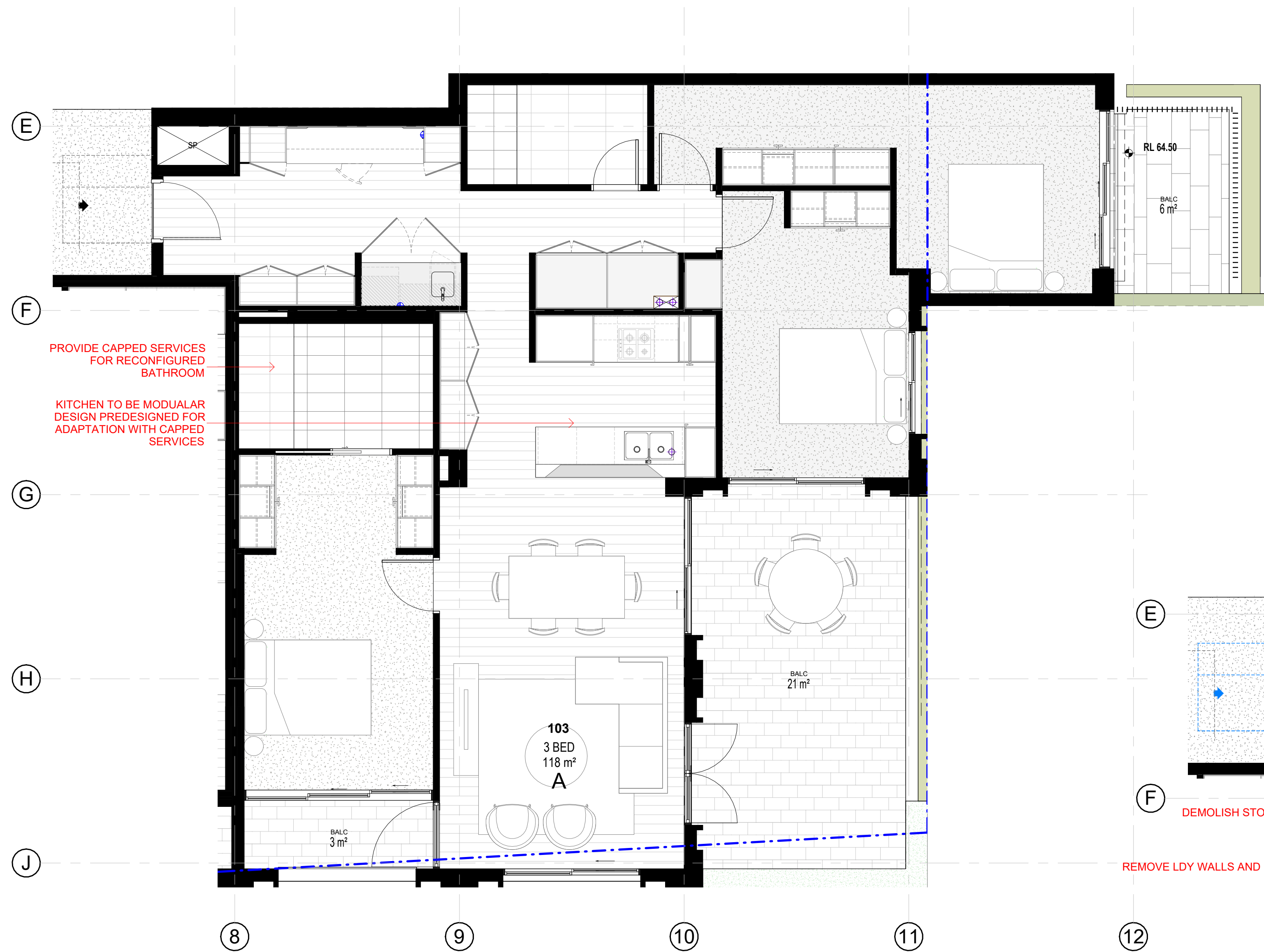
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Project
St Leonards
13-19 Canberra Ave
St Leonards
Drawing Name
BUILDING SECTION 1

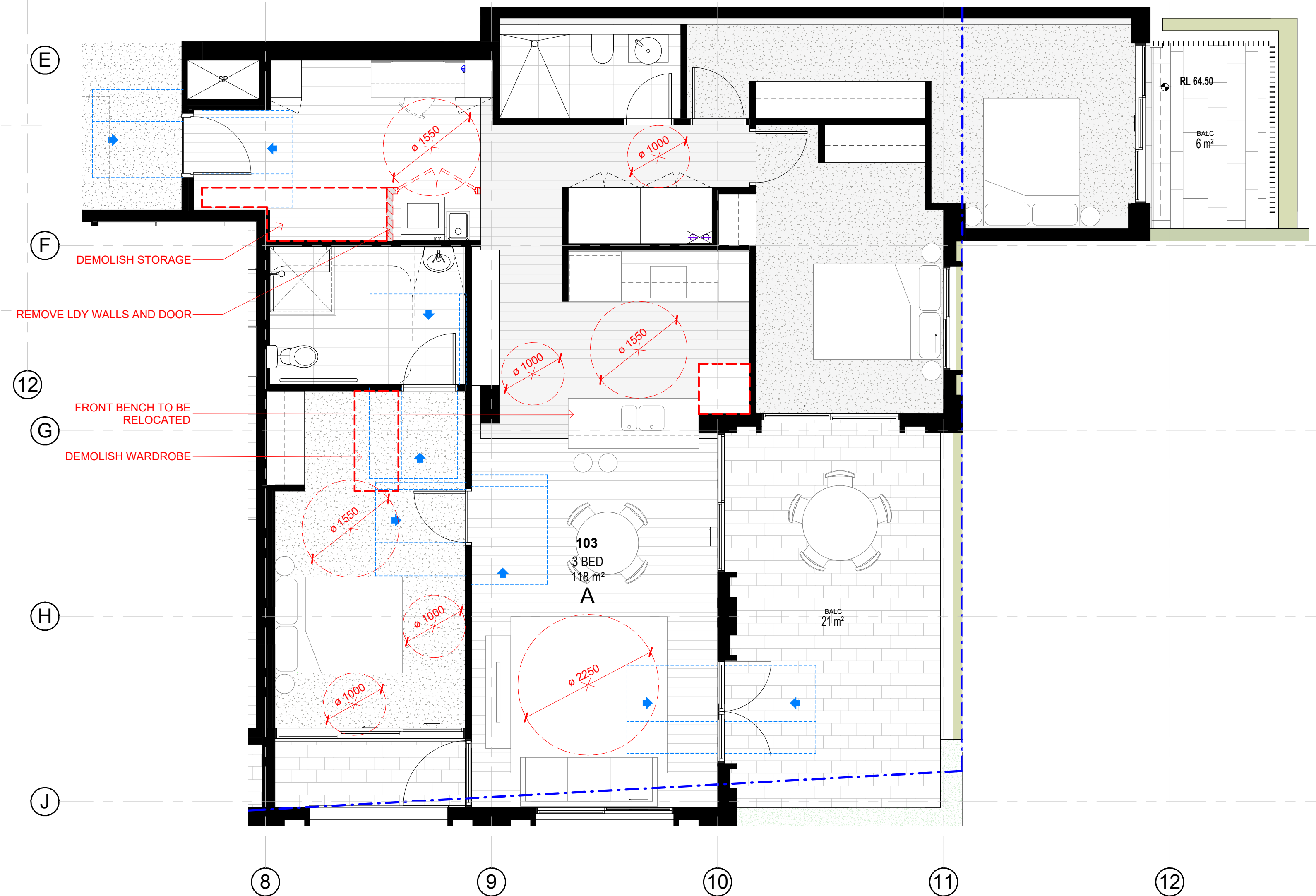
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The logo for SJB Architects, featuring the letters 'SJB' in a bold, black, stylized font. The 'S' and 'J' are connected, and the 'B' is separate. The letters are thick and blocky, with a slight shadow or depth to them.

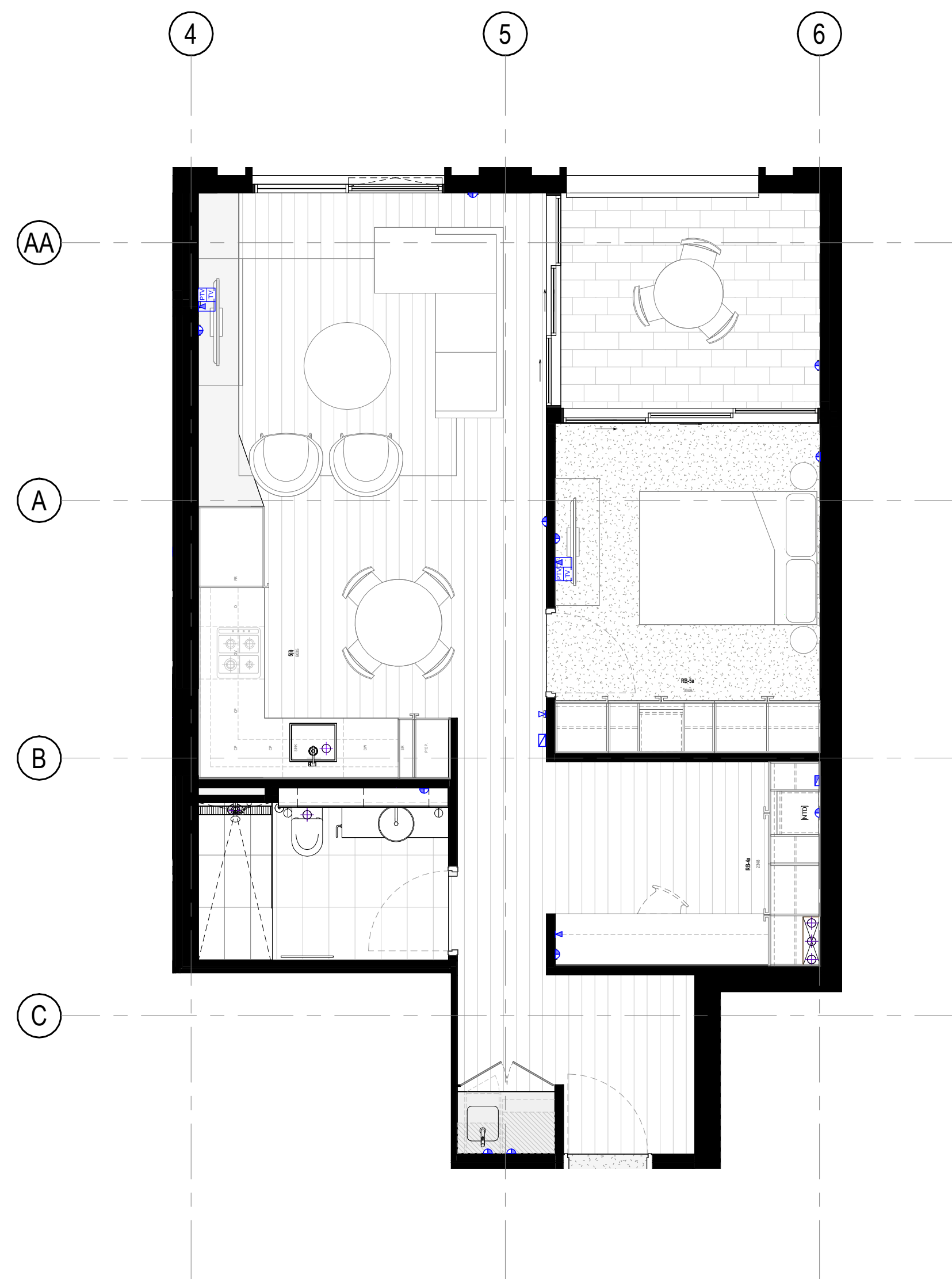


PRE-ADAPTED APARTMENT
103



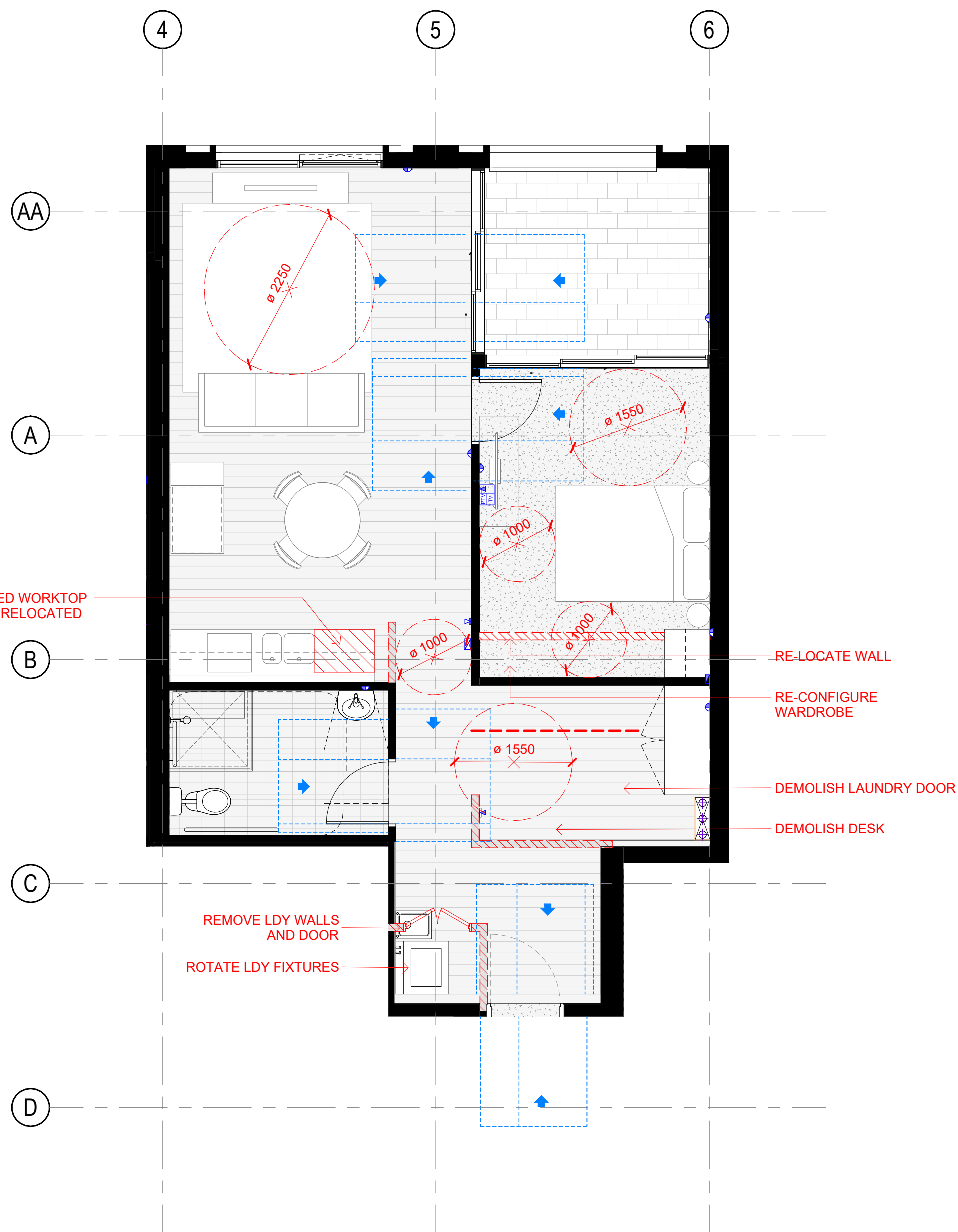
POST-ADAPTED APARTMENT
103

DEVELOPER HYECORP <small>Heritage House, Suite 1, 256 Victoria Avenue, Chatswood, NSW 2067 Australia PO Box 779 Artarmon 1570 P (02) 9967 9910, F (02) 9967 9930 E info@hyecorp.com.au W www.hyecorp.com.au</small>		BUILDER NS PC NORTH SHORE PROPERTY CONSTRUCTION	PROJECT NAME audrey <small>ST. LEONARDS</small>	TITLE ADAPTABLE APARTMENT TYPE - SHEET 01 STATUS PRELIMINARY	REV. DA37 DA40 DA42 DA45 DA50	DATE 28/09/2021 08/10/2021 13/10/2021 29/04/2022 18/11/2022	DESCRIPTION FINAL DRAFT FOR DA FINAL DRAFT FOR DA FOR DA APPLICATION RESPONSE TO RFI ISSUED FOR MOD3	ISSUED BY LL LL LL LL AR	ISSUED TO AH AH AH AH ST	DRAWING NUMBER A900 DATE 18/11/2022	DRAWN BY ML REVISION DA50	CHECKED BY AH SCALE 1 : 50 PAPER A1	APPROVED BY Approver
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PRE-ADAPTED APARTMENT
302, 402, 502, 602, 702, 802, 902

QUANTITY NUMBERS UPDATED



POST-ADAPTED APARTMENT
302, 402, 502, 602, 702, 802, 902

QUANTITY NUMBERS UPDATED

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BUILDER
NS PC
**NORTH SHORE
PROPERTY
CONSTRUCTION**

PROJECT ADDRESS: 13-19 Canberra Ave, St Leonards

PROJECT NAME
audrey
ST. LEONARDS

TITLE
**ADAPTABLE APARTMENT TYPE - SHEET
02**
STATUS
PRELIMINARY

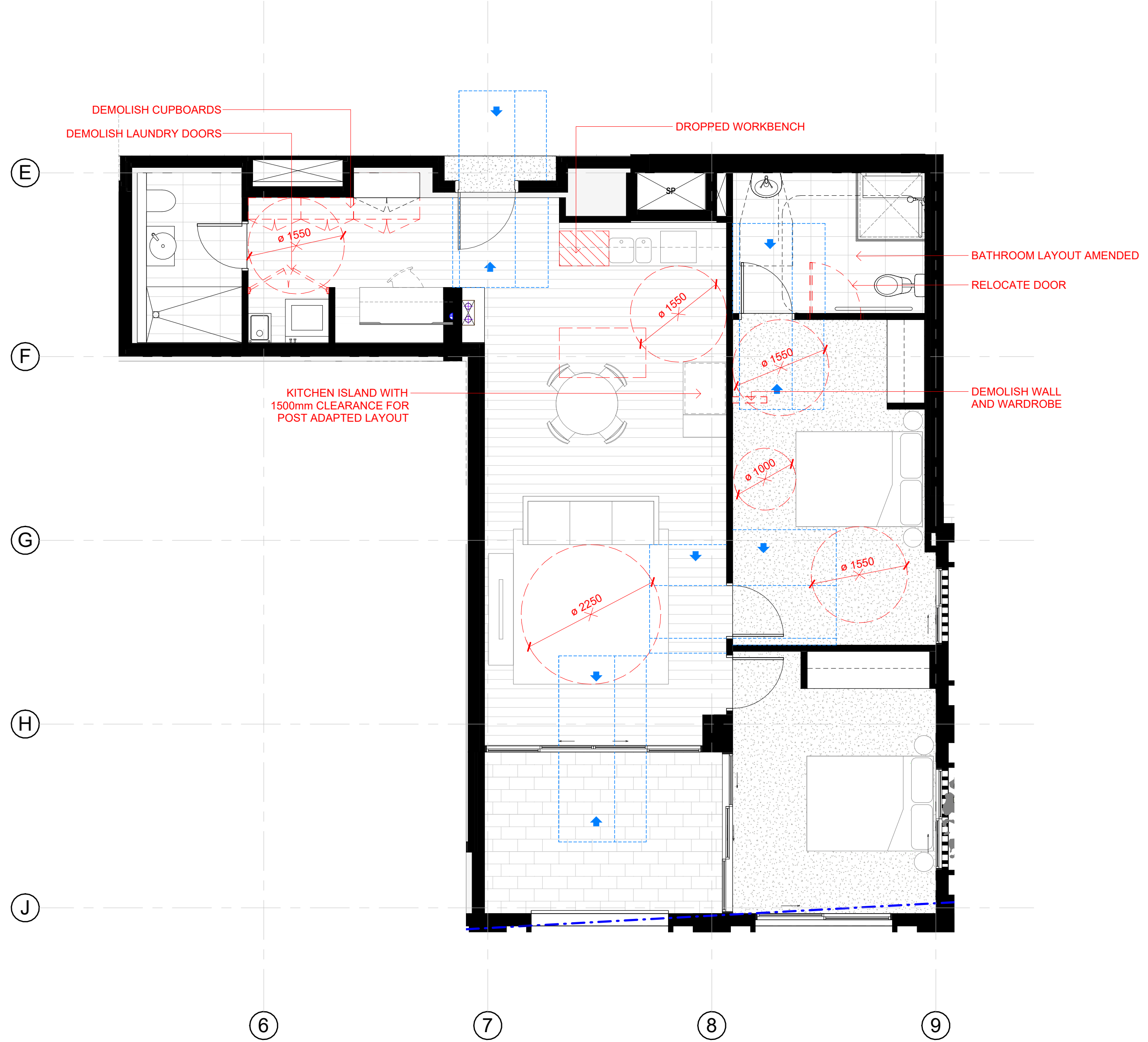


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DA42	13/10/2021	FOR DA APPLICATION	LL	AH
DA45	29/04/2022	RESPONSE TO RFI	LL	AH
DA50	18/11/2022	ISSUED FOR MOD3	AR	ST
DA51	27/07/2023	ISSUE FOR MOD 6	RP	

DRAWING NUMBER A901	DRAWN BY ML	CHECKED BY AH	APPROVED BY -
DATE 27/07/2023	REVISION DA51	SCALE 1 : 50 PAPER A1	



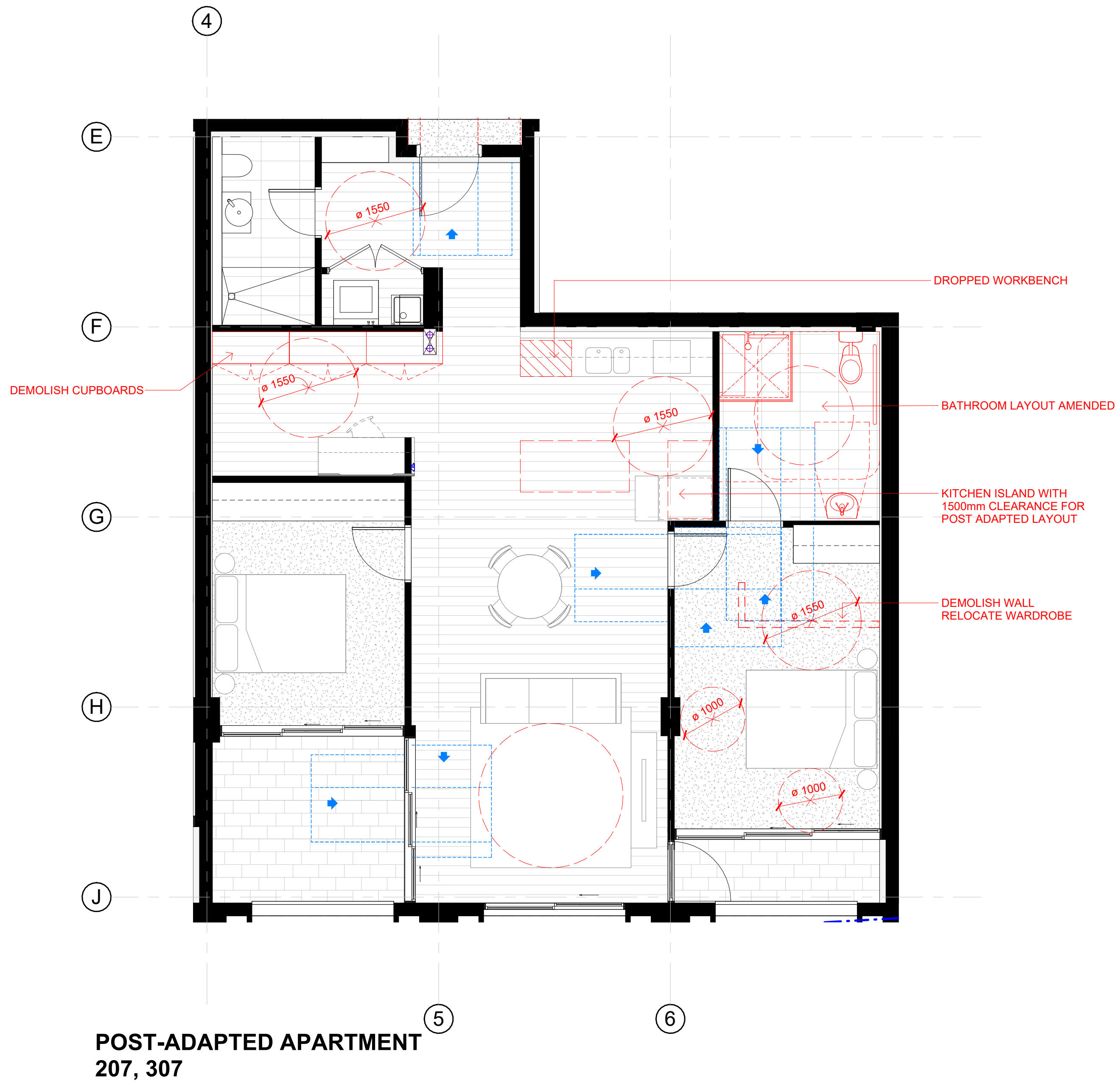
PRE-ADDAPTED APARRMENT
206, 306



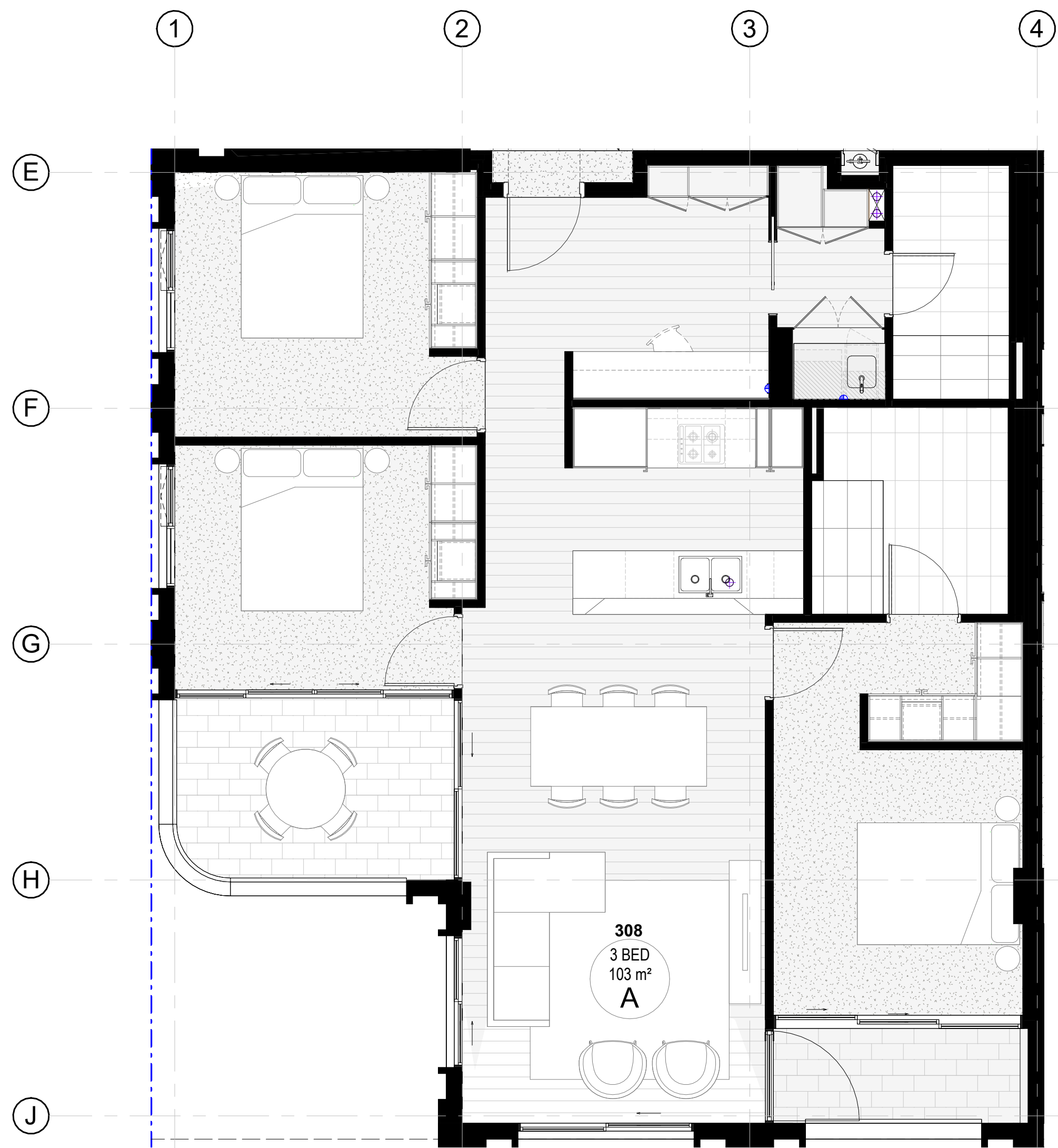
POST-ADAPTED APARTMENT
206, 306

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			<div>STATUS PRELIMINARY</div>		<div>NORTH </div>	<div>DA37 28/09/2021 FINAL DRAFT FOR DA</div>	<div>LL AH</div>	<div>DATE 18/11/2022</div>	<div>REVISION DA50</div>	<div>SCALE 1 : 50</div>	
						<div>DA40 08/10/2021 FINAL DRAFT FOR DA</div>	<div>LL AH</div>	<div>PAPER A1</div>			
						<div>DA42 13/10/2021 FOR DA APPLICATION</div>	<div>LL AH</div>				
			<div>DA45 29/04/2022 RESPONSE TO RFI</div>	<div>LL AH</div>							
			<div>DA50 18/11/2022 ISSUED FOR MOD3</div>	<div>AR ST</div>							

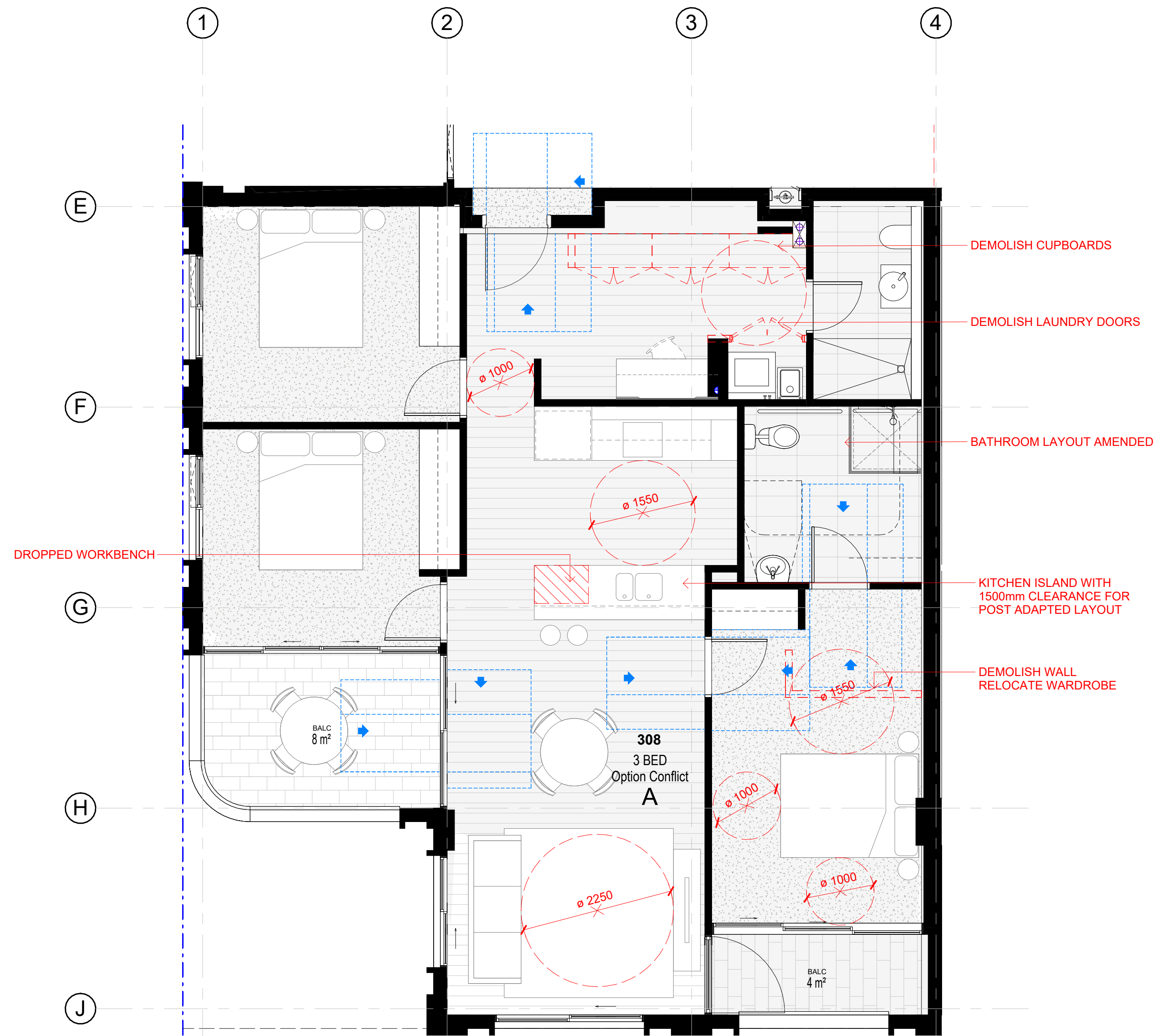
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<div>PROJECT ADDRESS: 13-19 Canberra Ave, St Leonards</div>	<div>STATUS</div> <div>PRELIMINARY</div>	<div>NORTH</div> <div></div>	<div>DATE</div> <div>18/11/2022</div>	<div>REVISION</div> <div>DA50</div>	<div>SCALE 1 : 50</div> <div>PAPER A1</div>	<div>PUBLISHED AT 18/11/2022 11:35:34 AM</div>			



PRE-ADAPTED APARTMENT
208, 308



POST-ADAPTED APARTMENT
208, 308

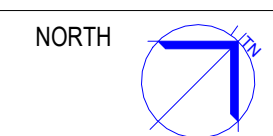
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BUILDER
NS PC NORTH SHORE
PROPERTY
CONSTRUCTION

PROJECT ADDRESS: 13-19 Canberra Ave, St Leonards

PROJECT NAME
audrey
ST. LEONARDS

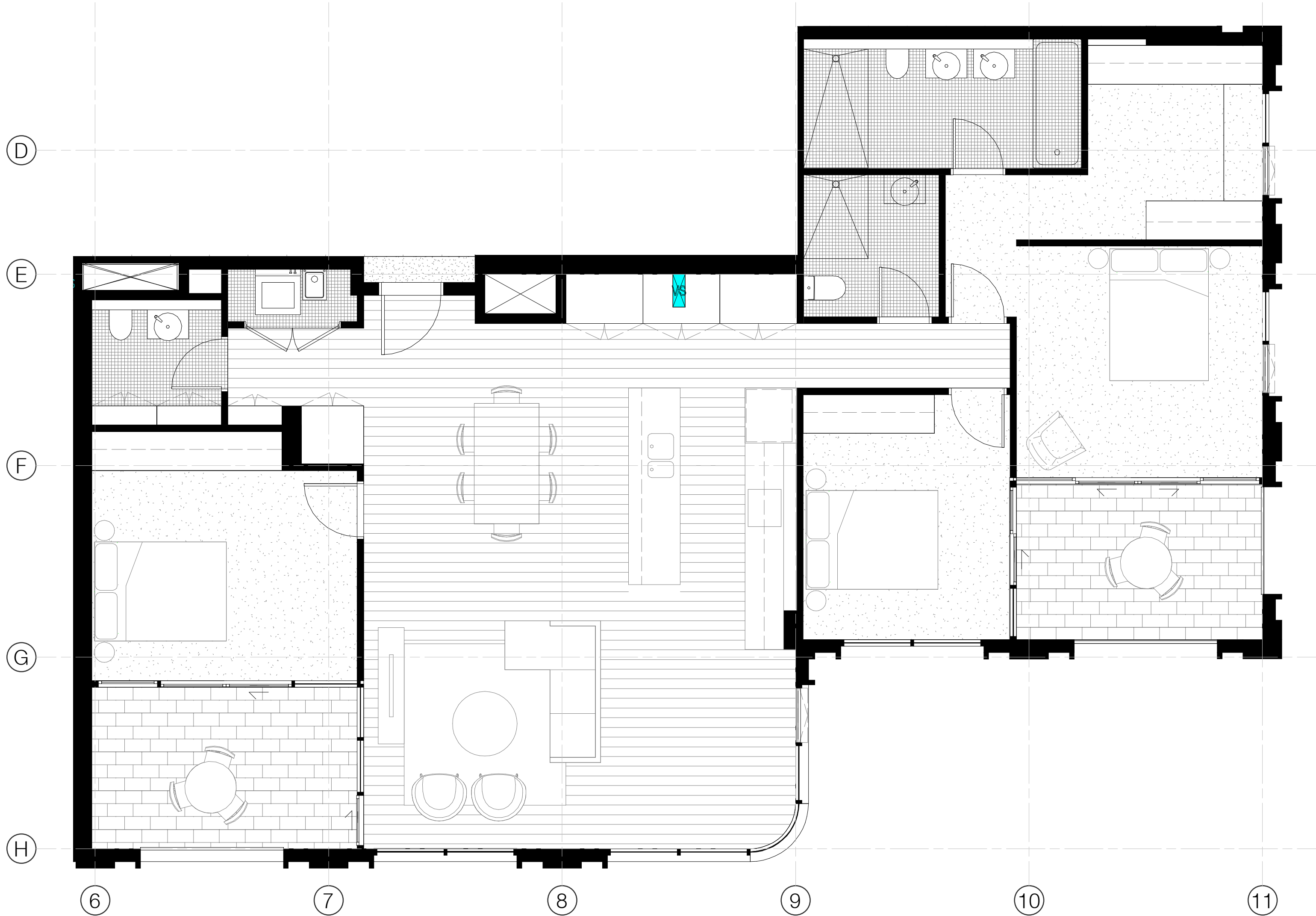
TITLE
**ADAPTABLE APARTMENT TYPE - SHEET
05**
STATUS
PRELIMINARY



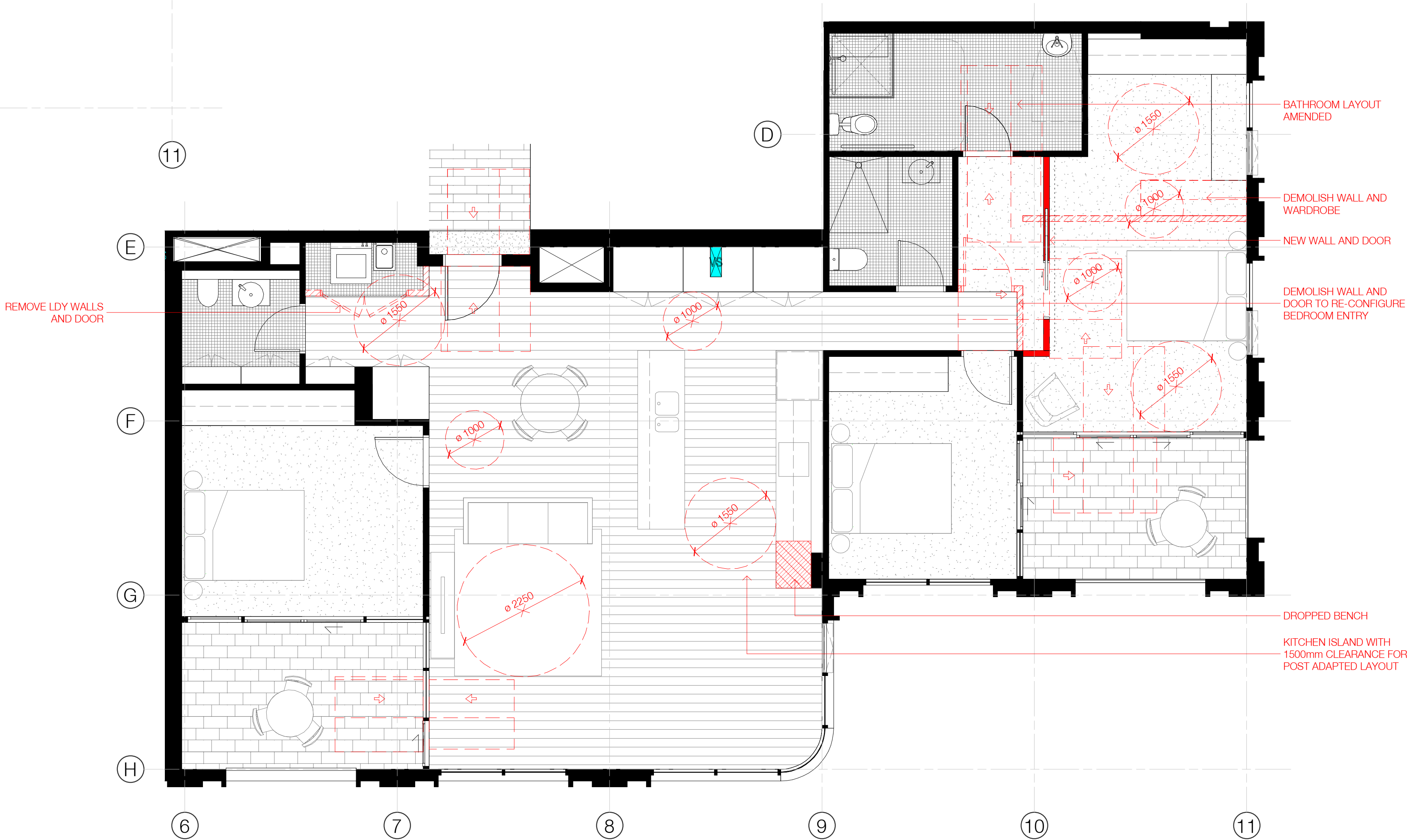
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DA40	08/10/2021	FINAL DRAFT FOR DA	LL	AH
DA42	13/10/2021	FOR DA APPLICATION	LL	AH
DA45	29/04/2022	RESPONSE TO RFI	LL	AH
DA50	18/11/2022	ISSUED FOR MOD3	AR	ST

DRAWING NUMBER
A904
DATE
18/11/2022

DRAWN BY ML	CHECKED BY AH	APPROVED BY Approver
REVISION DA50	SCALE 1 : 50 PAPER A1	



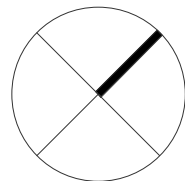
PRE-ADAPTED APARTMENT 1505, 1405, 1305



POST-ADAPTED APARTMENT 1505, 1405, 1305

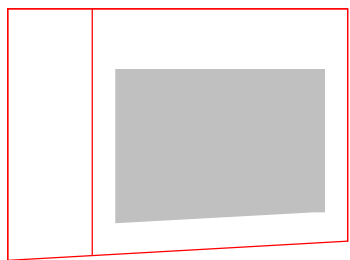
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Nominated Architects: Adam Haddow-7188 | John Pradel-7004



0 500 1000 2500mm
1:50 @A1

Rev	Date	Revision	By	Chk.
61	28/11/2023	FOR INFORMATION	LL	AH
66	05/04/2024	FOR INFORMATION	LL	AH



Client

HYECORP

Project

St Leonards
13-19 Canberra Ave
St Leonards
Drawing Name
ADAPTABLE APARTMENT TYPE - SHEET 06

Date

05/04/2024 1 : 50

Drawn

LL

Drawing No.
A-905

Scale

1 : 50

Chk.

AH

Sheet Size

@ A1

Job No.

6429

Revision

/ 66

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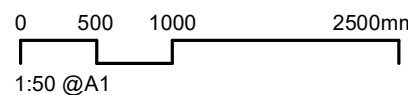
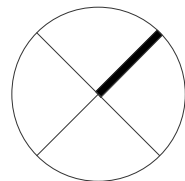
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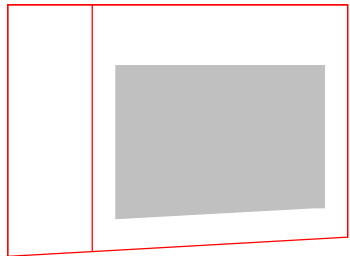
POST-ADAPTED APARTMENT 1506, 1406, 1306

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Rev	Date	Revision	By	Chk.
66	05/04/2024	FOR INFORMATION	LL	AH



Client

HYECORP

Project

St Leonards
13-19 Canberra Ave
St Leonards
Drawing Name
ADAPTABLE APARTMENT TYPE - SHEET 07

Date

05/04/2024 1 : 50

Drawn

LL

Drawing No.

A-906

Scale

1 : 50

Chk.

AH

Sheet Size

@ A1

Job No.

6429

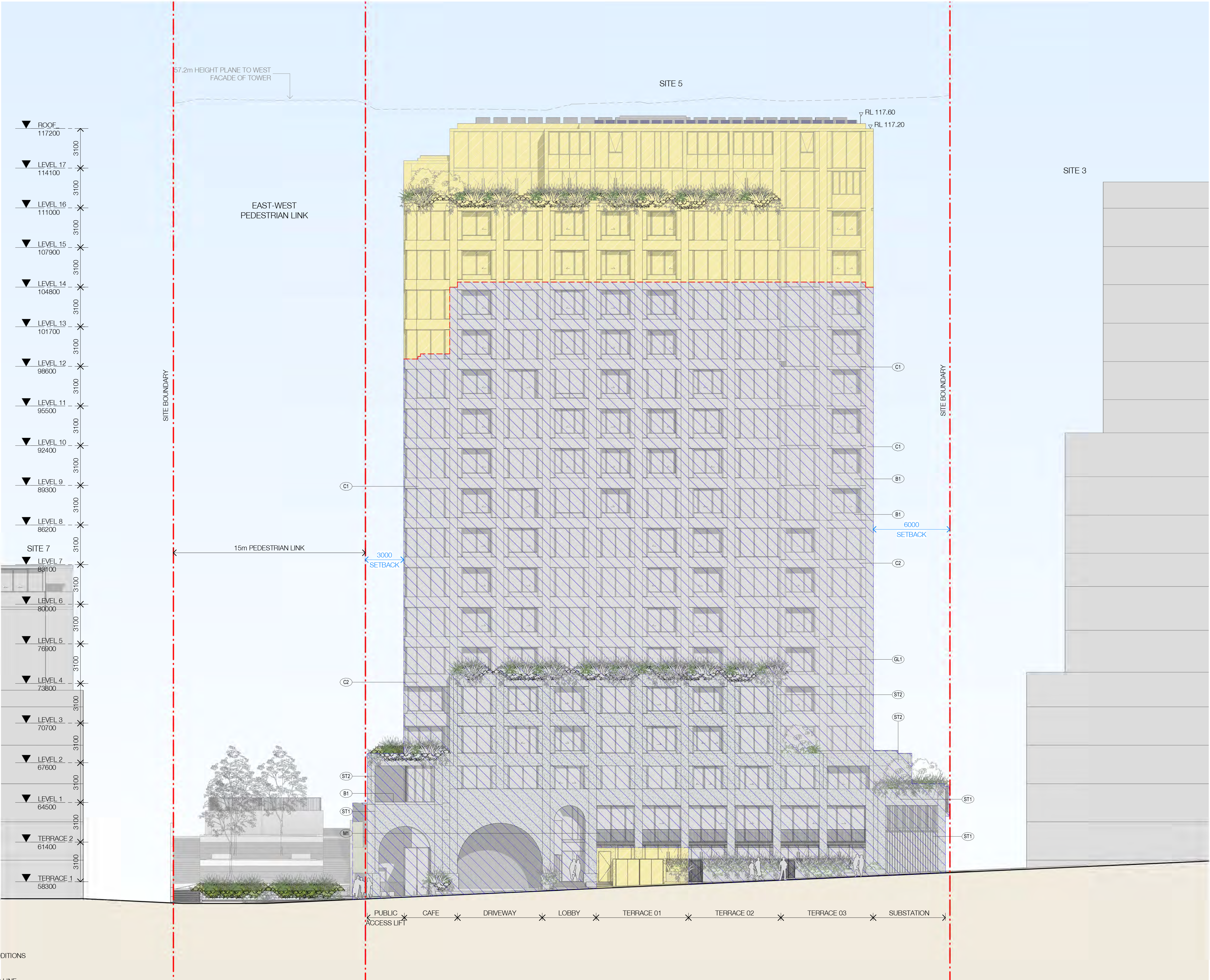
Revision

/ 66

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- LEGEND
- EXISTING
 - ALTERATIONS & ADDITIONS
 - EXISTING BUILDING LINE

EXTERNAL FINISHES

CONCRETE/FC
C01 Concrete Finish - Stained White
C02 Concrete Finish - Stained Green

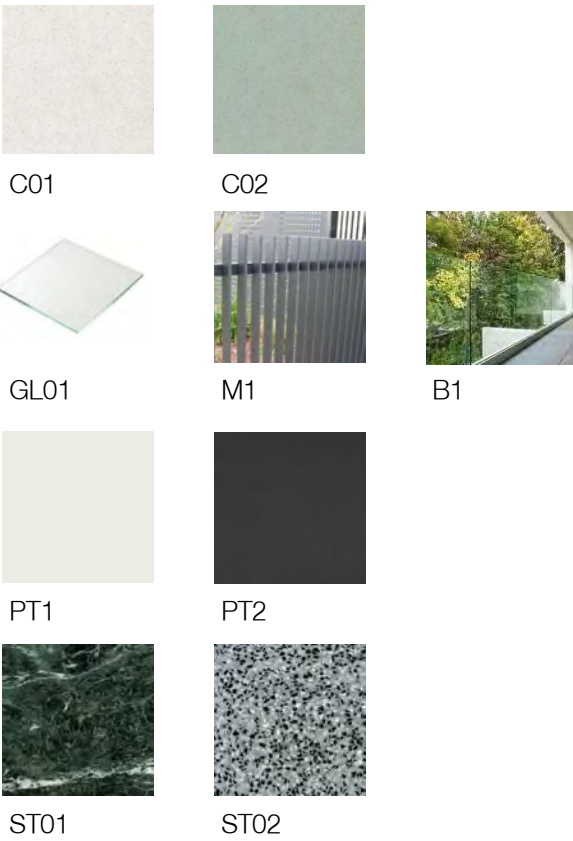
GLASS
GL1 Apartment Glazing - Performance Glass

METALWORK
M1 Aluminium

PAINT
PT01 White
PT02 Dark Grey

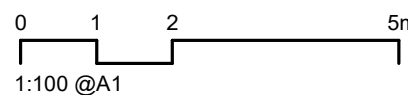
BALUSTRADE
B1 Aluminium Framed - Clear Glass

STONE
ST01 Green Marble
ST02 Green Terrazzo

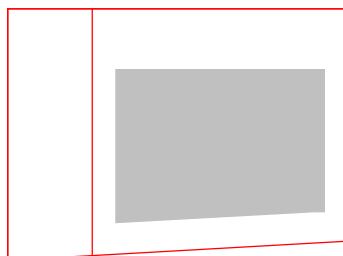


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Rev	Date	Revision	By	Chk.
66	05/04/2024	FOR INFORMATION	LL	AH
68	07/06/2024	FOR INFORMATION	YL	AH



Client

HYECORP

Project

St Leonards
13-19 Canberra Ave
St Leonards
Drawing Name
EAST ELEVATION - MATERIALS AND FINISHES

Date

07/06/2024

Scale

1 : 150

Sheet Size

@ A1

Drawn

LL

Chk.

AH

Job No.

6429

Drawing No.

DA-2402-A

Revision

/ 68

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2010 Australia
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EXTERNAL FINISHES

CONCRETE/FC
C01 Concrete Finish - Stained White
C02 Concrete Finish - Stained Green

GLASS
GL1 Apartment Glazing - Performance Glass

METALWORK
M1 Aluminium

PAINT
PT01 White
PT02 Dark Grey

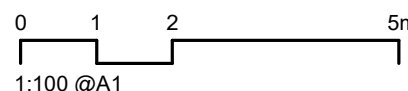
BALUSTRADE
B1 Aluminium Framed - Clear Glass

STONE
ST01 Green Marble
ST02 Green Terrazzo

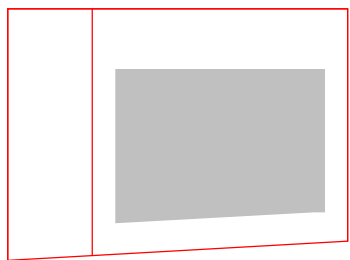


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Nominated Architects: Adam Haddow-7188 | John Pradel-7004



Rev	Date	Revision	By	Chk.
66	05/04/2024	FOR INFORMATION	LL	AH
68	07/06/2024	FOR INFORMATION	YL	AH



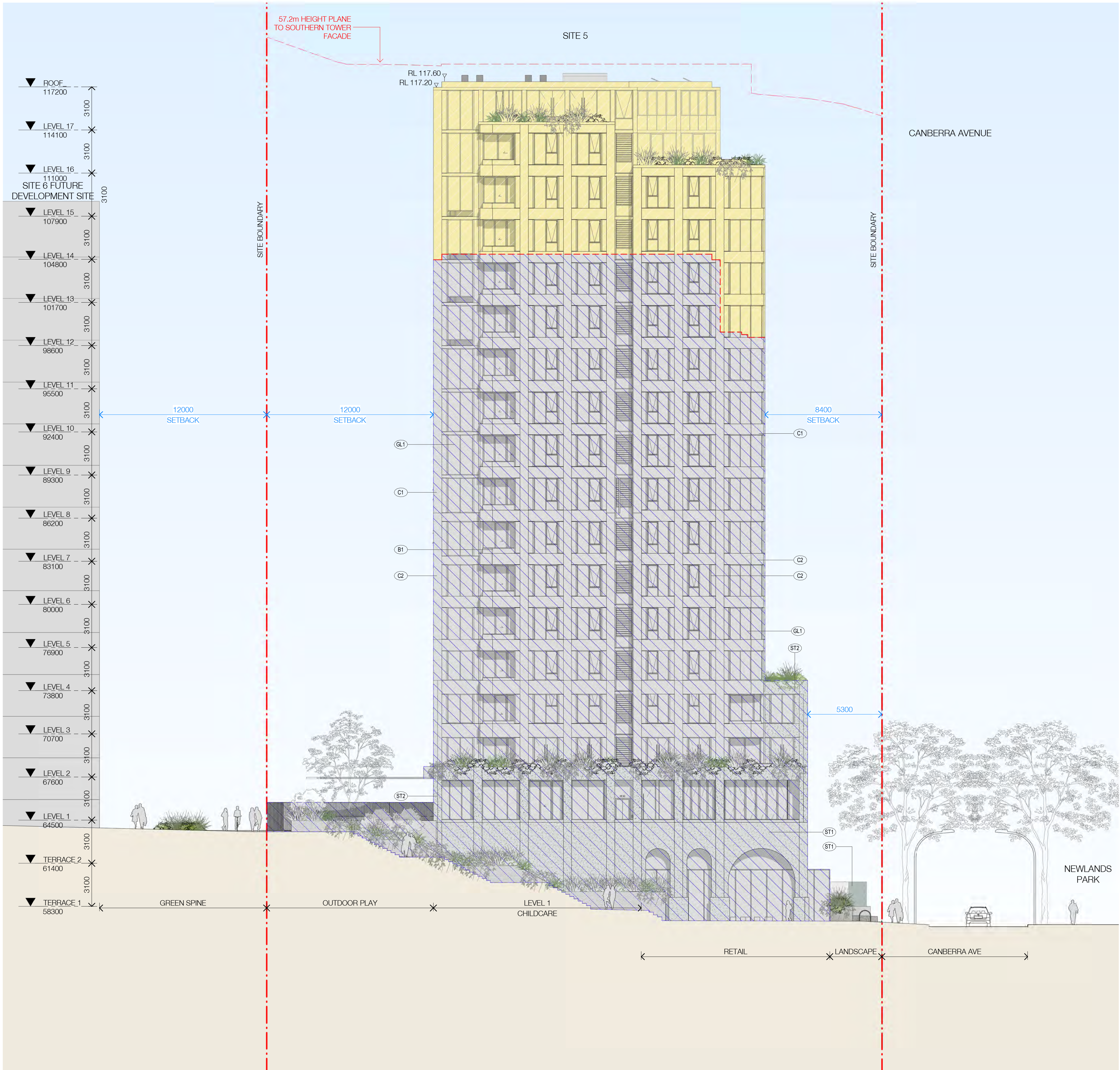
Client
HYECORP

Project
**St Leonards
13-19 Canberra Ave
St Leonards**
Drawing Name
NORTH ELEVATION - MATERIALS AND FINISHES

Date
07/06/2024
Scale
1 : 150
Sheet Size
@ A1
Drawn
LL
Chk.
AH
Job No.
6429
Drawing No.
DA-2403-A
Revision
/ 68

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- LEGEND
- EXISTING
- ALTERATIONS & ADDITIONS
- EXISTING BUILDING LINE

EXTERNAL FINISHES

CONCRETE/FC
C01 Concrete Finish - Stained White
C02 Concrete Finish - Stained Green

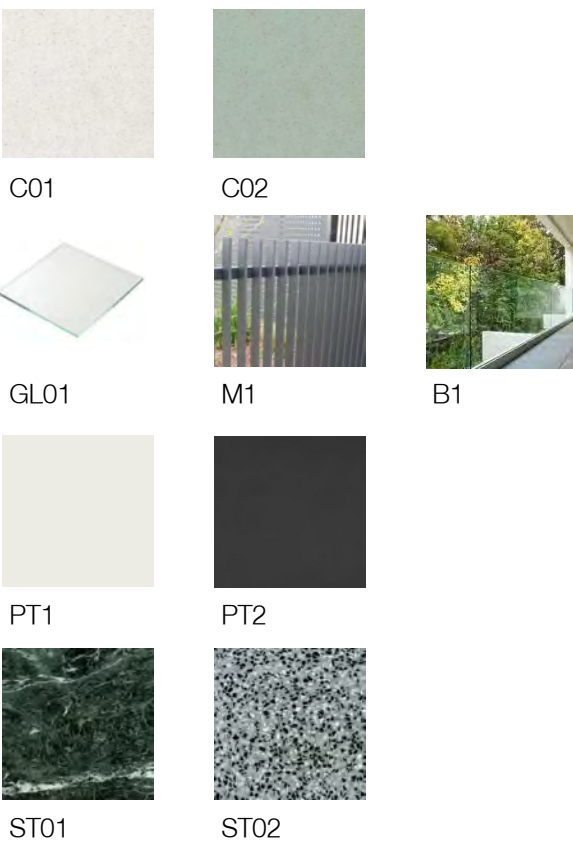
GLASS
GL1 Apartment Glazing - Performance Glass

METALWORK
M1 Aluminium

PAINT
PT01 White
PT02 Dark Grey

BALUSTRADE
B1 Aluminium Framed - Clear Glass

STONE
ST01 Green Marble
ST02 Green Terrazzo



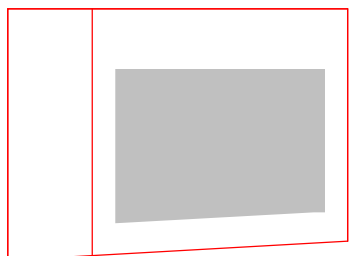
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0 1 2 5m
1:100 @A1

Rev	Date	Revision	By	Chk.
66	05/04/2024	FOR INFORMATION	LL	AH
68	07/06/2024	FOR INFORMATION	YL	AH



Client

HYECORP

Project

St Leonards
13-19 Canberra Ave
St Leonards
Drawing Name
SOUTH ELEVATION - MATERIALS AND FINISHES

Date

07/06/2024 1 : 150

Drawn

LL AH

Drawing No.

DA-2404-A

Scale

1 : 150

Chk.

AH

Revision

/ 68

Sheet Size

@ A1

Job No.

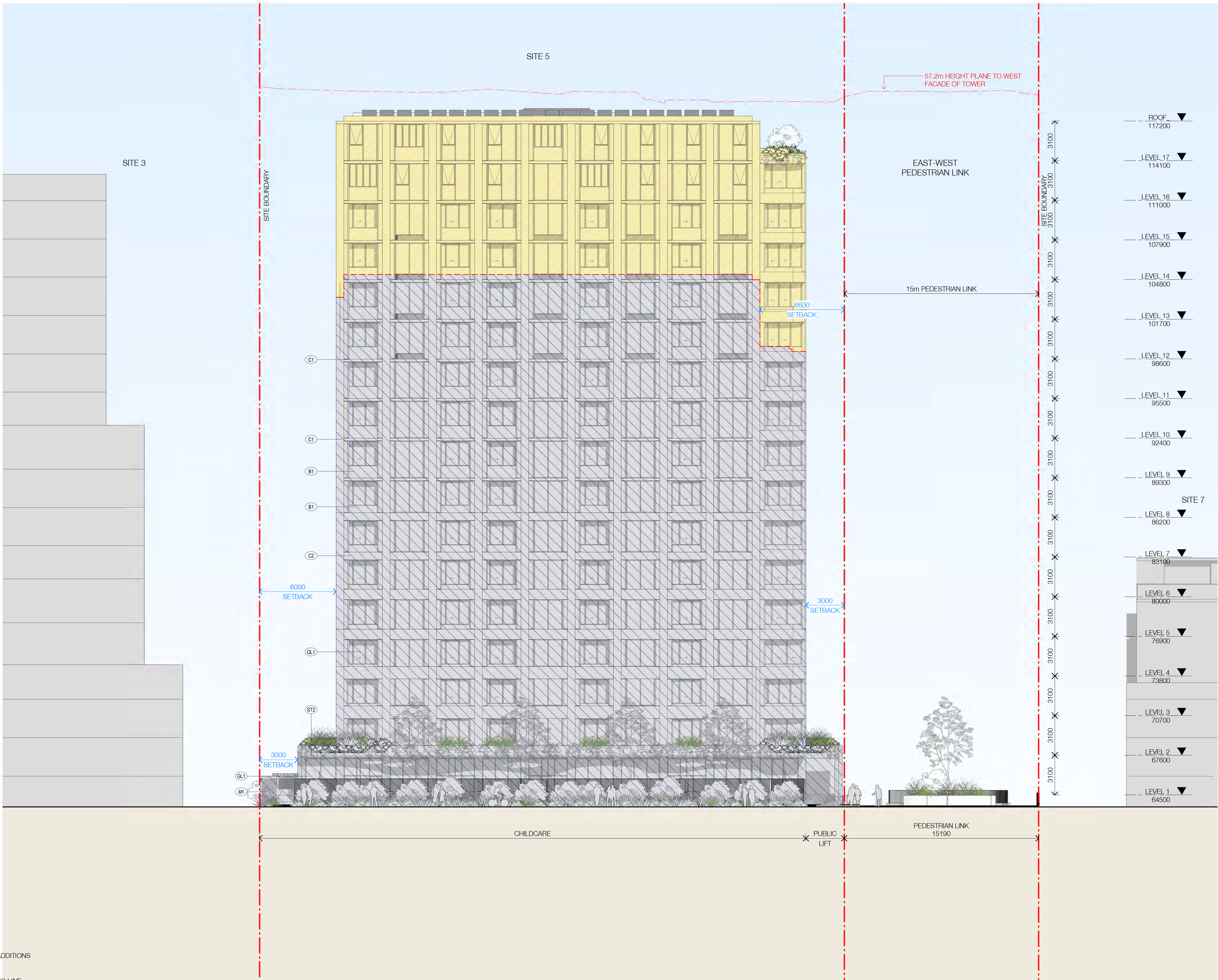
6429

Revision

/ 68

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EXTERNAL FINISHES

CONCRETE/FC
C01 Concrete Finish - Stained White
C02 Concrete Finish - Stained Green

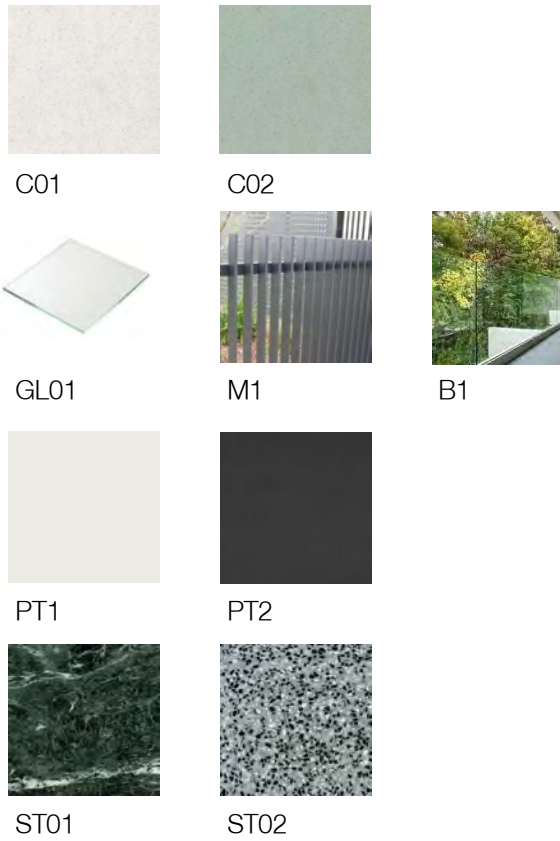
GLASS
GL1 Apartment Glazing - Performance Glass

METALWORK
M1 Aluminium

PAINT
PT01 White
PT02 Dark Grey

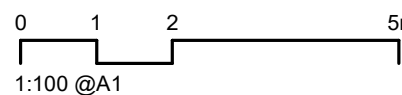
BALUSTRADE
B1 Aluminium Framed - Clear Glass

STONE
ST01 Green Marble
ST02 Green Terrazzo

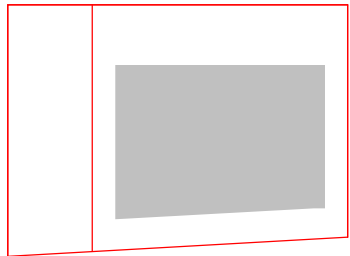


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Nominated Architects: Adam Haddow-7188 | John Pradel-7004



Rev	Date	Revision	By	Chk.
66	05/04/2024	FOR INFORMATION	LL	AH
68	07/06/2024	FOR INFORMATION	YL	AH



Client
HYECORP

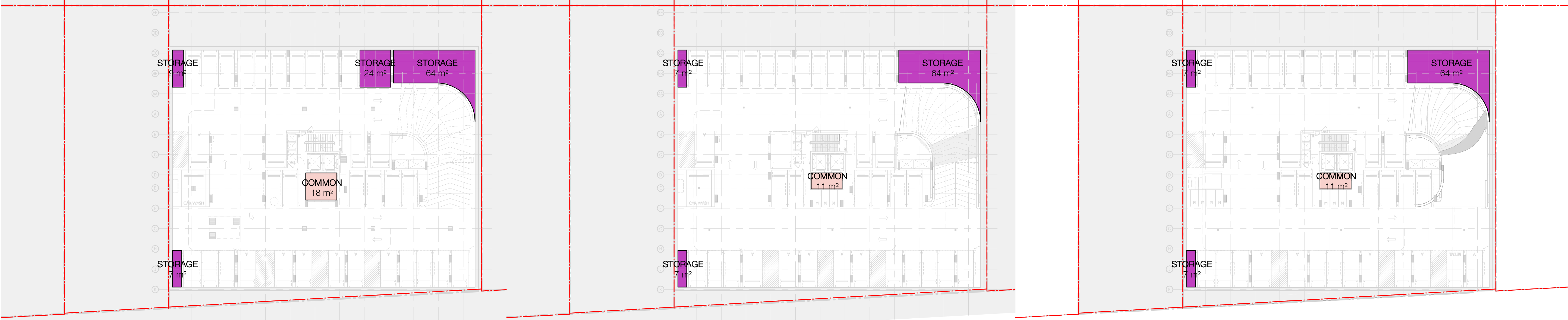
Project
St Leonards
13-19 Canberra Ave
St Leonards
Drawing Name
WEST ELEVATION - MATERIALS AND FINISHES

Date
07/06/2024
Scale
1 : 150
Sheet Size
@ A1
Drawn
LL
Chk.
AH
Job No.
6429
Drawing No.
DA-2405-A
Revision
/ 68

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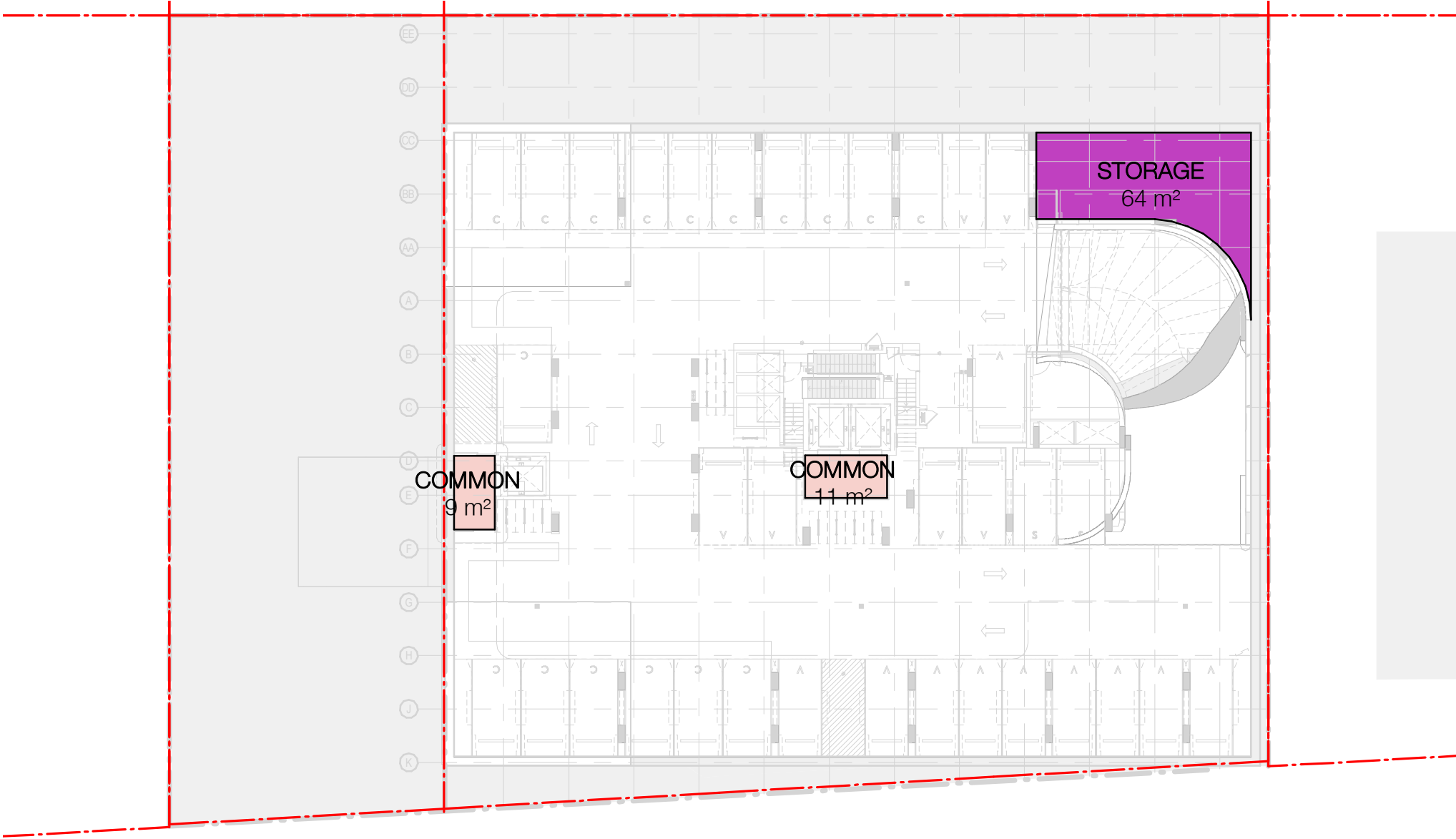
V2: Current Revised GFA Summary
(At Basement 4 Existing Ground level)



BASEMENT 4

BASEMENT 3

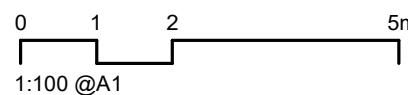
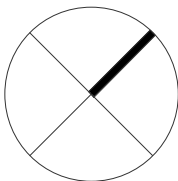
BASEMENT 2



BASEMENT 1

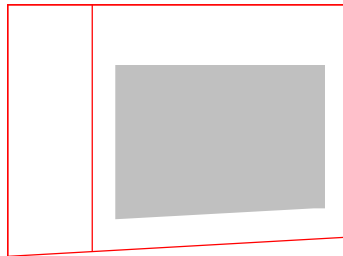
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Nominated Architects: Adam Haddow-7188 | John Pradel-7004



Rev	Date	Revision	By	Chk.
-----	------	----------	----	------

66	05/04/2024	FOR INFORMATION	LL	AH
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Client

HYECORP

Project

St Leonards
13-19 Canberra Ave
St Leonards
Drawing Name
GFA PLAN SHEET 00 - V2

Date

05/04/2024 1 : 300

Drawn

LL

DA-3000-2

Scale

1 : 300

Chk.

AH

Sheet Size

@ A1

Job No.

6429

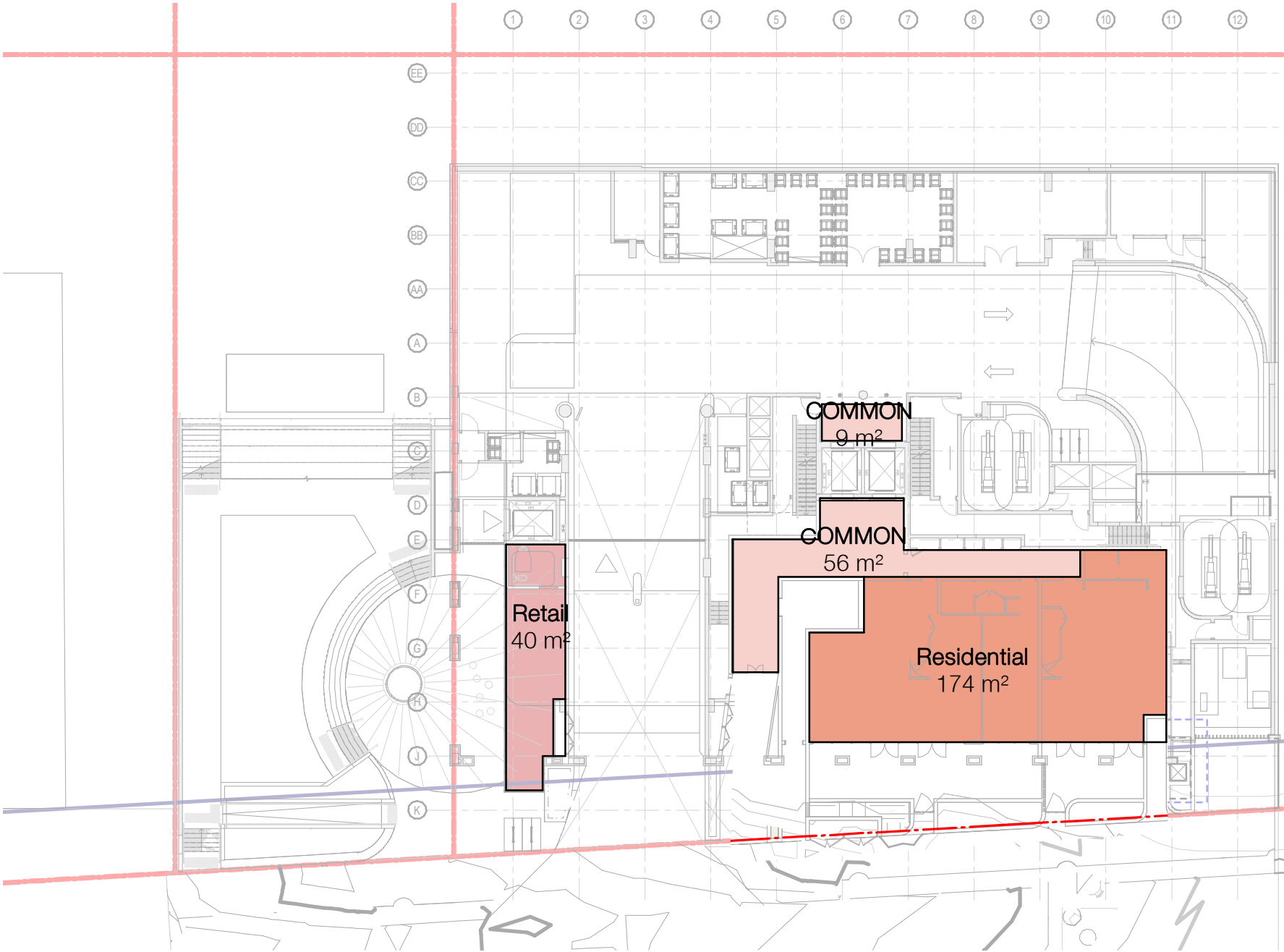
Revision

/ 66

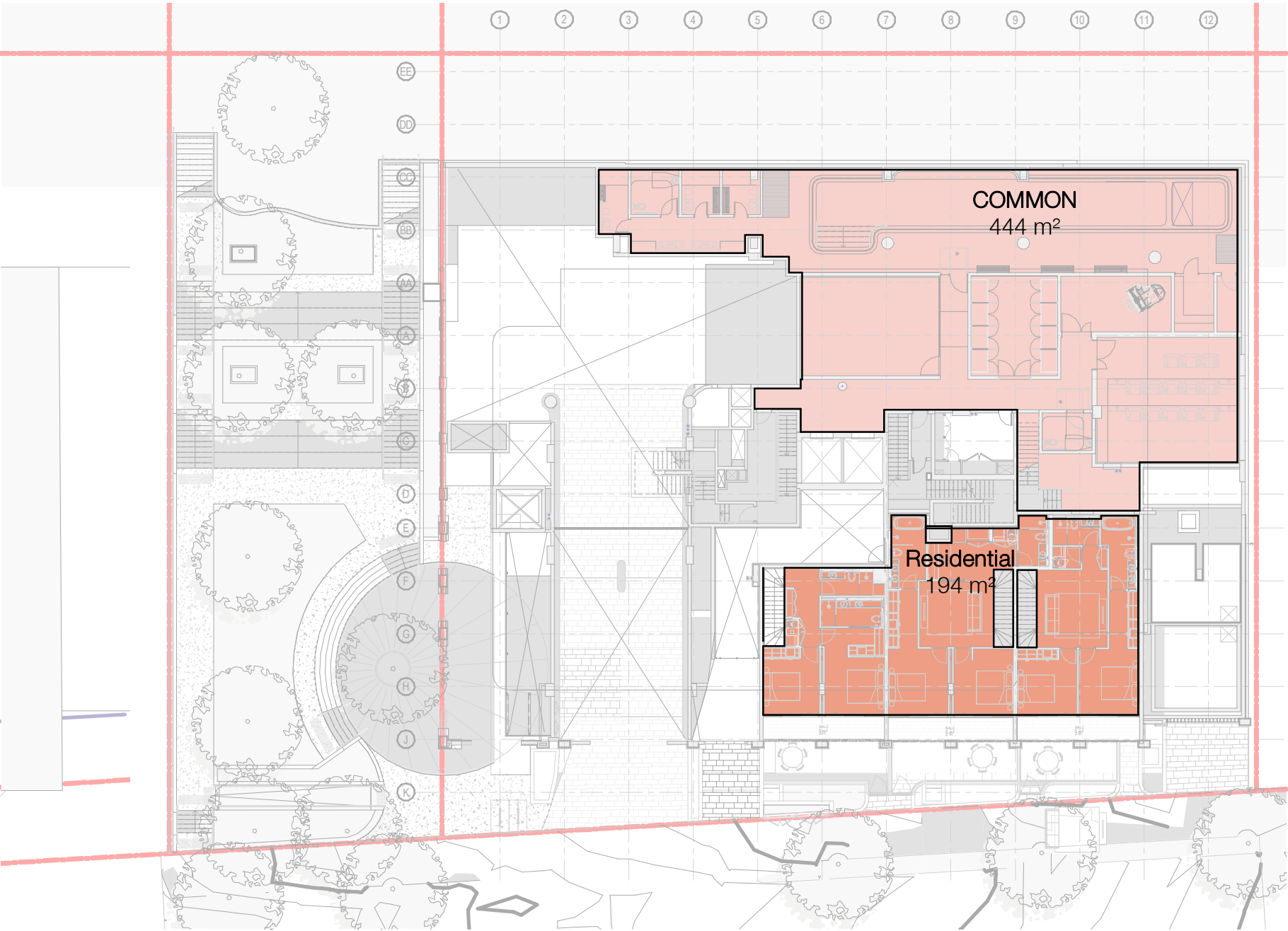
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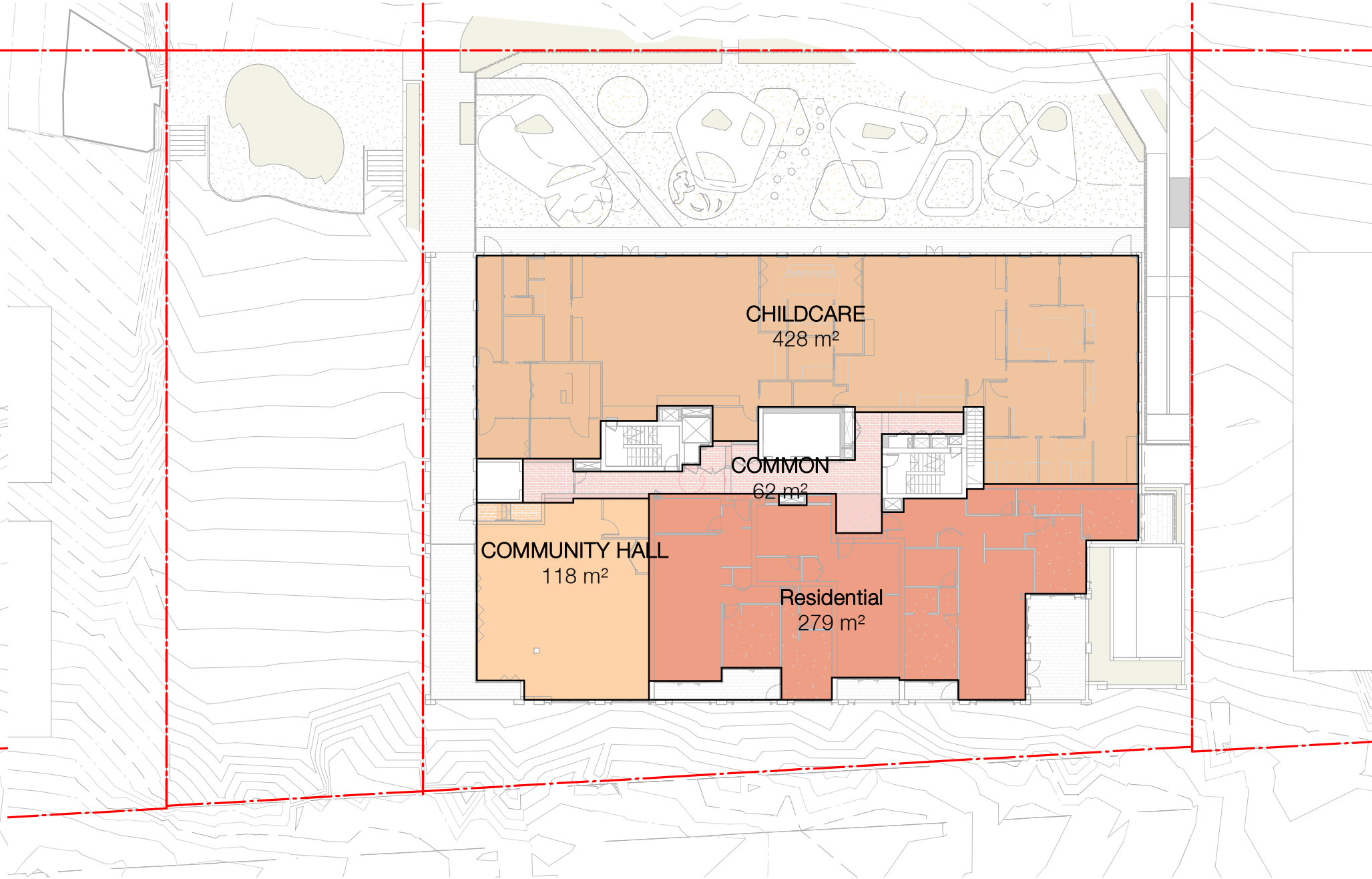
V2: Current Revised GFA Summary
(At Basement 4 Existing Ground level)



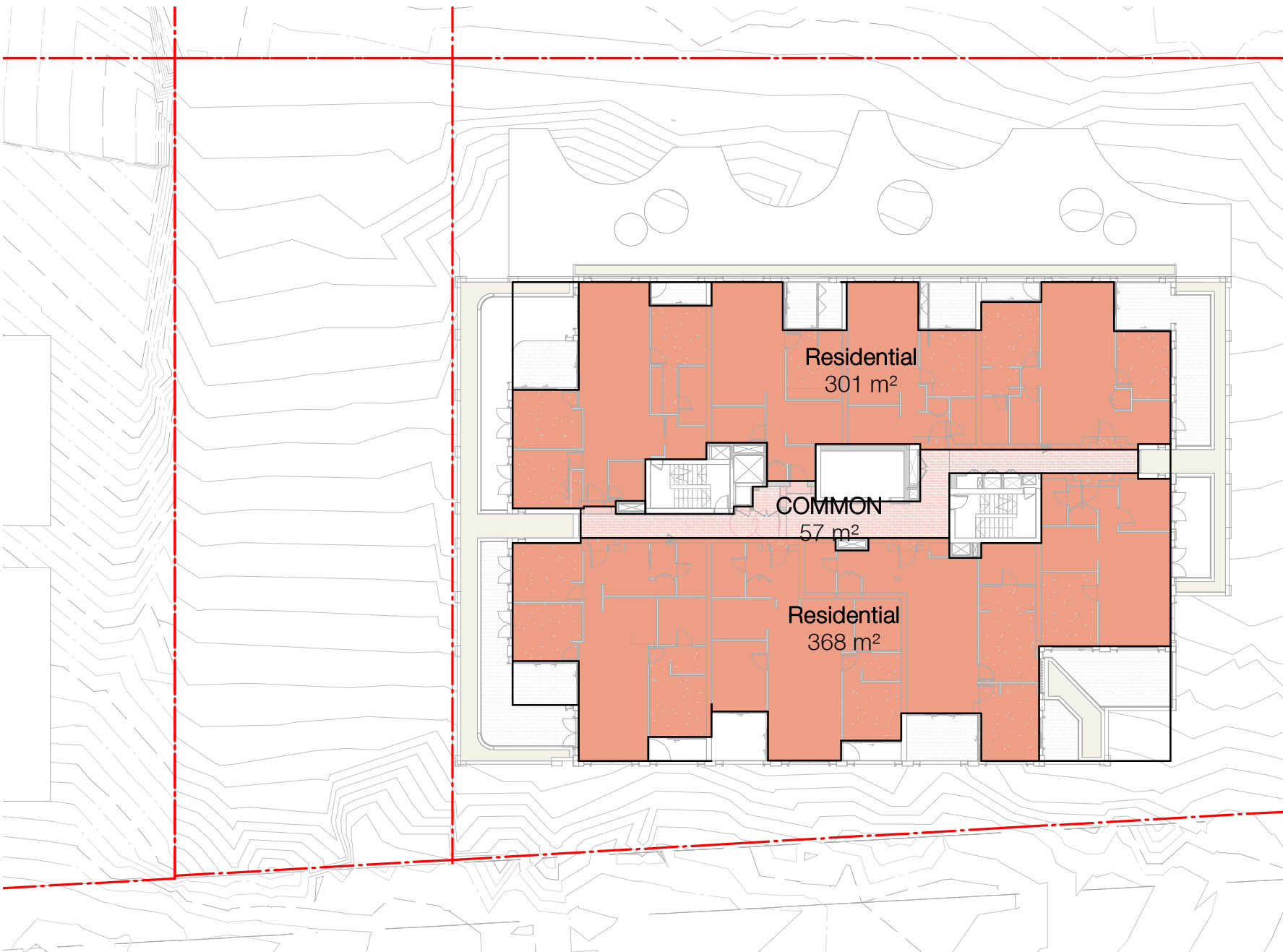
GROUND FLOOR V2



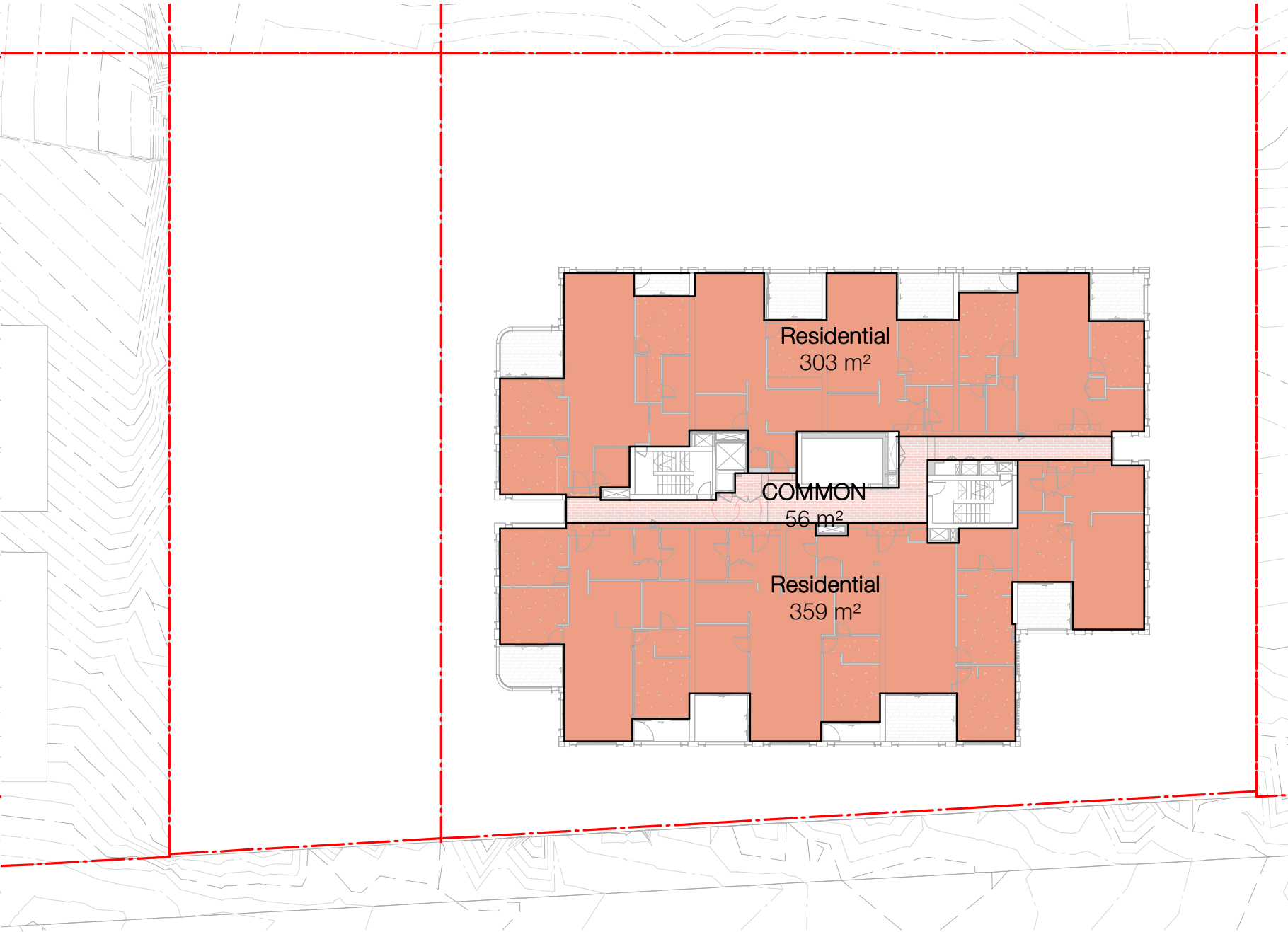
UPPER GROUND V2



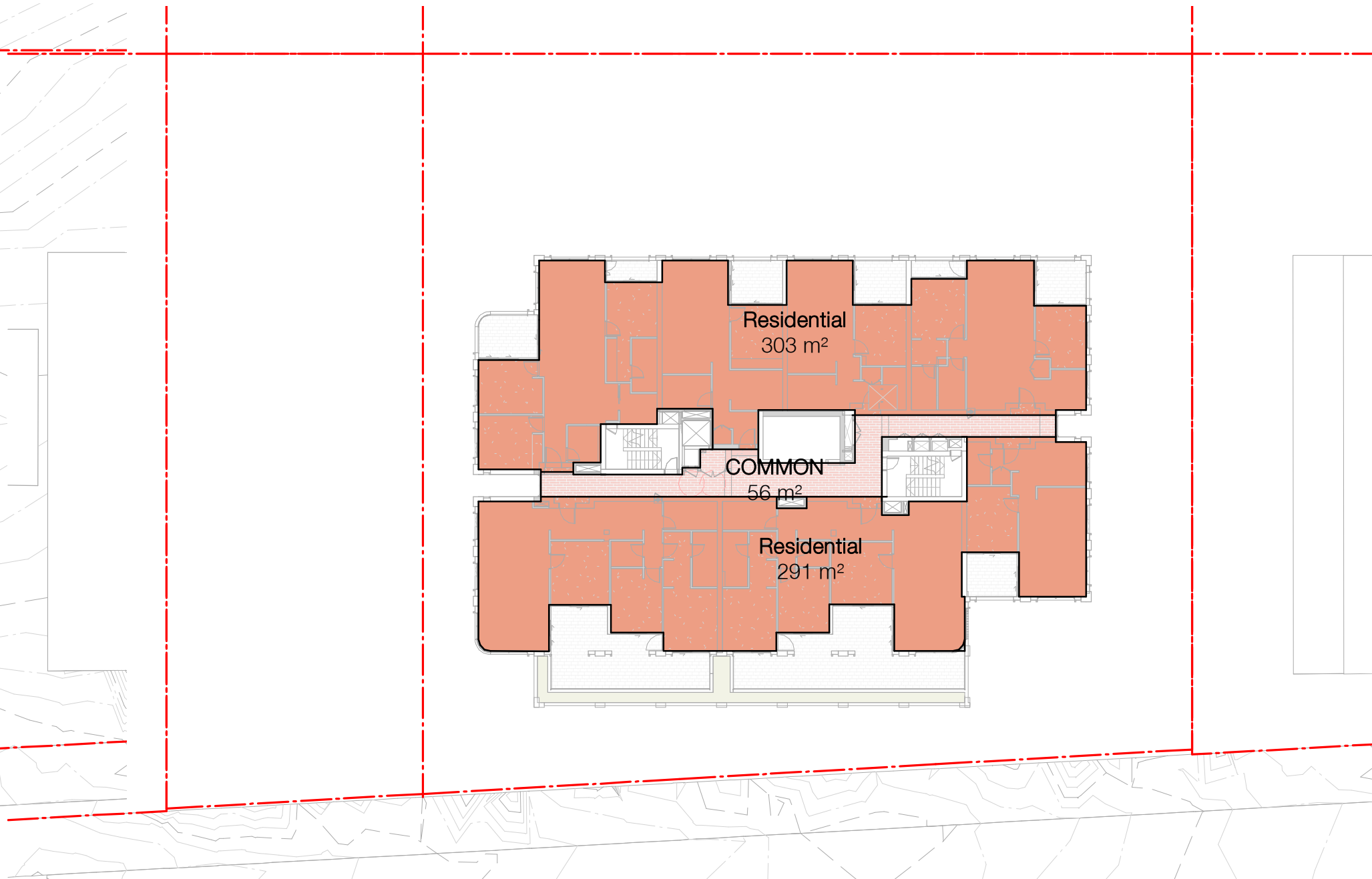
LEVEL 1 V2



LEVEL 2 V2

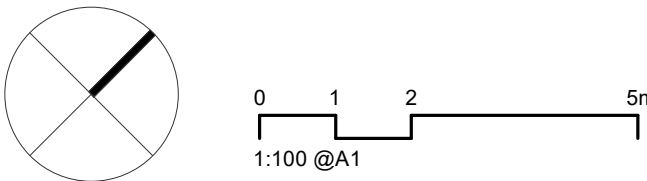


LEVEL 3 V2

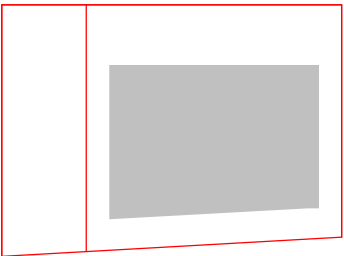


LEVEL 4 GFA V2

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Rev	Date	Revision	By	Chk.
28	18/08/2021	FOR COORDINATION	LL	AH
32	03/09/2021	FINAL DRAFT FOR DA	LL	AH
36	24/09/2021	FINAL DRAFT FOR DA	LL	AH
37	28/09/2021	FINAL DRAFT FOR DA	LL	AH
40	08/10/2021	FINAL DRAFT FOR DA	LL	AH
42	13/10/2021	FOR DA APPLICATION	LL	AH
45	29/04/2022	RESPONSE TO RFI	LL	AH
55	14/12/2022	FINAL ALTERATION & ADDITION SUBMISSION	LL	AH
58	11/09/2023	FOR INFORMATION	LL	AH
66	05/04/2024	FOR INFORMATION	LL	AH



Client

HYECORP

Project

St Leonards
13-19 Canberra Ave
St Leonards
Drawing Name
GFA PLAN SHEET 01 - V2

Date

05/04/2024

Scale

1 : 300

Sheet Size

@ A1

Drawn

LL

Chk.

ML

Job No.

6429

Drawing No.

DA-3001-2

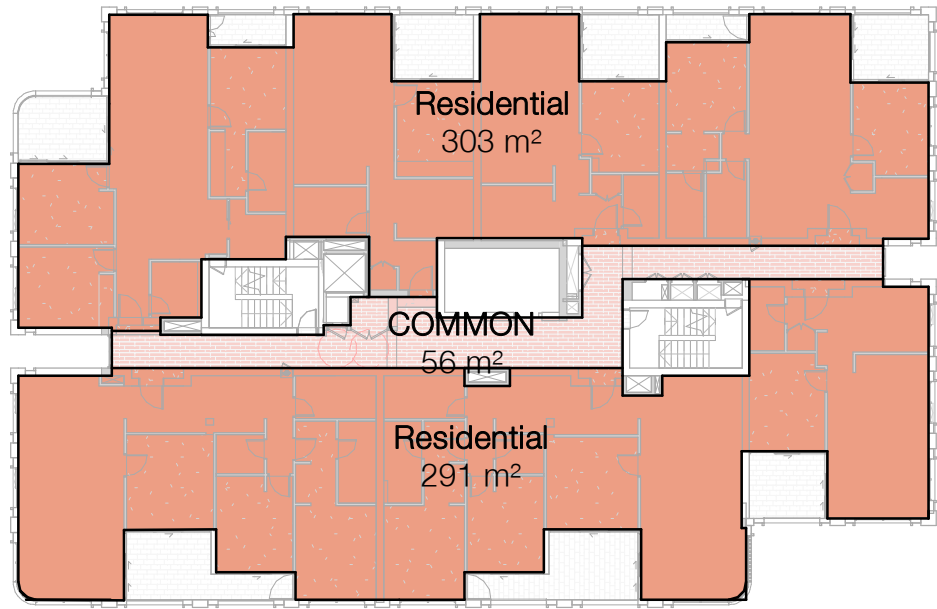
Revision

/ 66

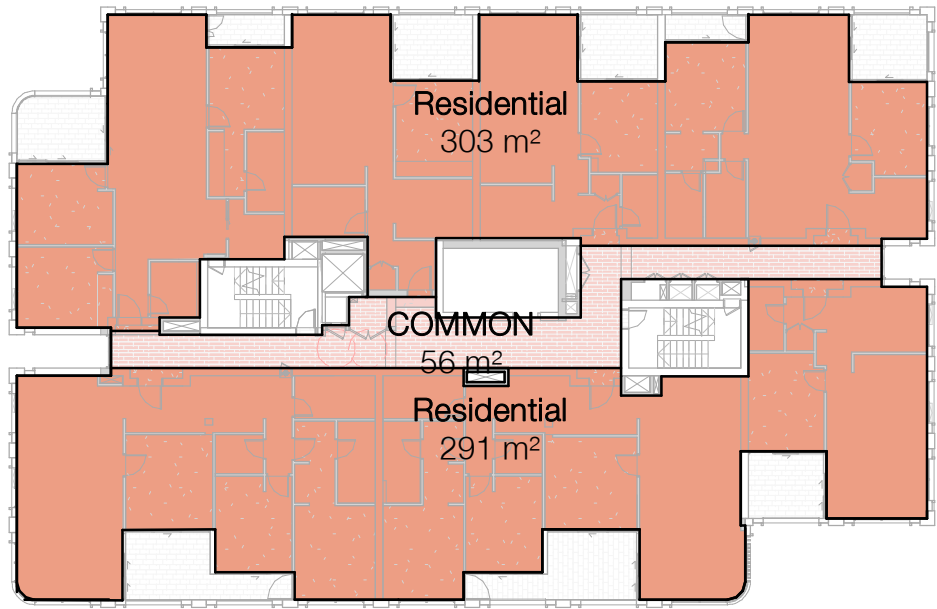
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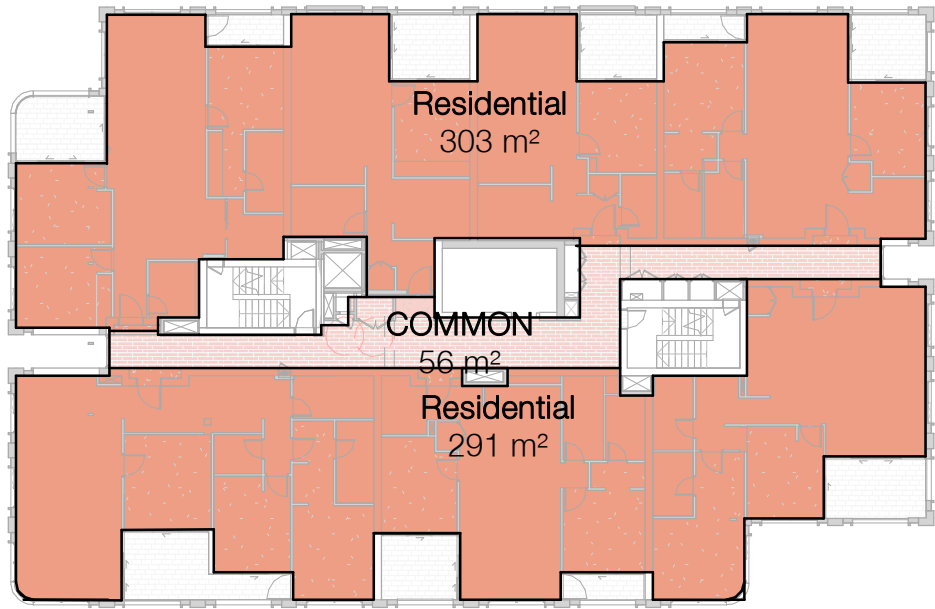
V2: Current Revised GFA Summary
(At Basement 4 Existing Ground level)



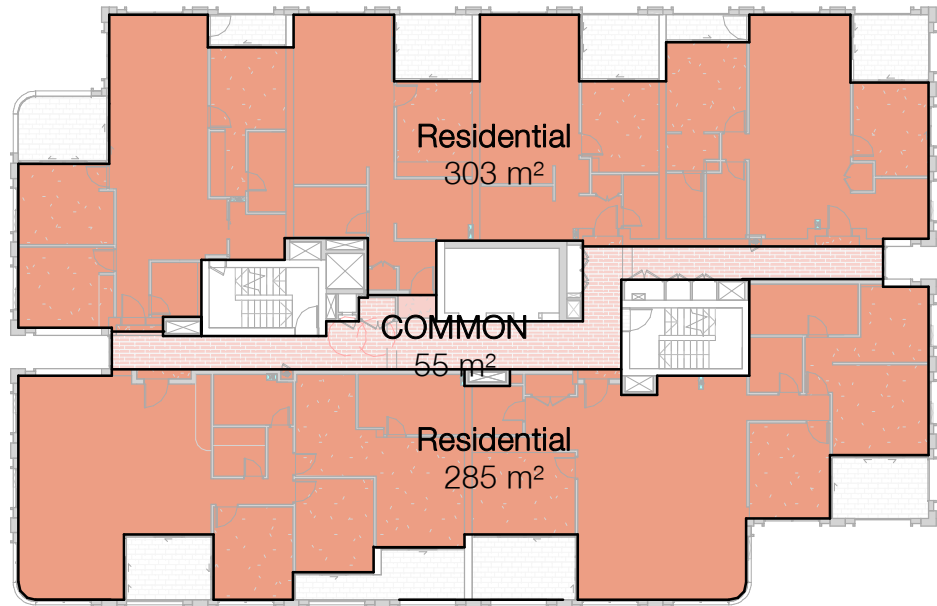
LEVEL 5 GFA



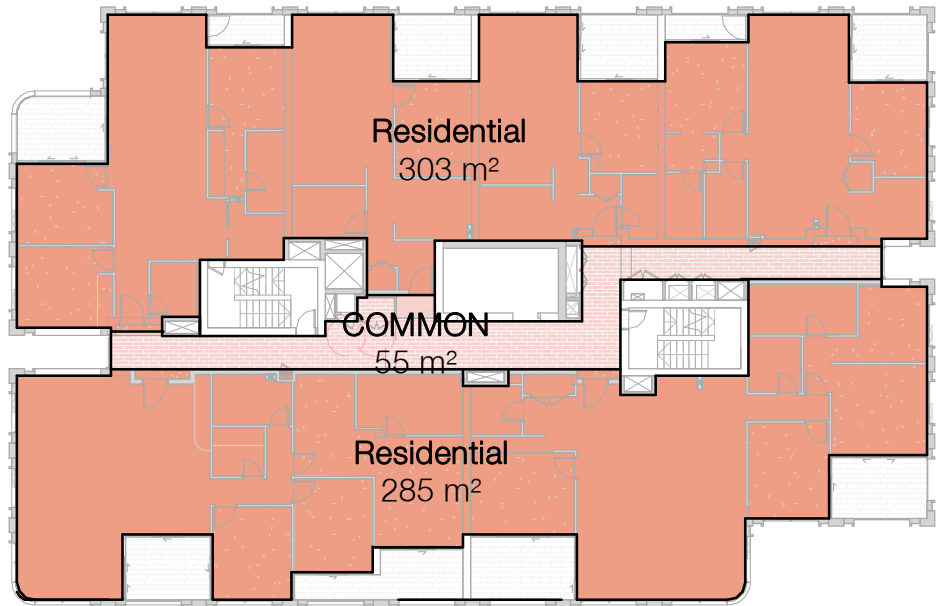
LEVEL 6-7 GFA



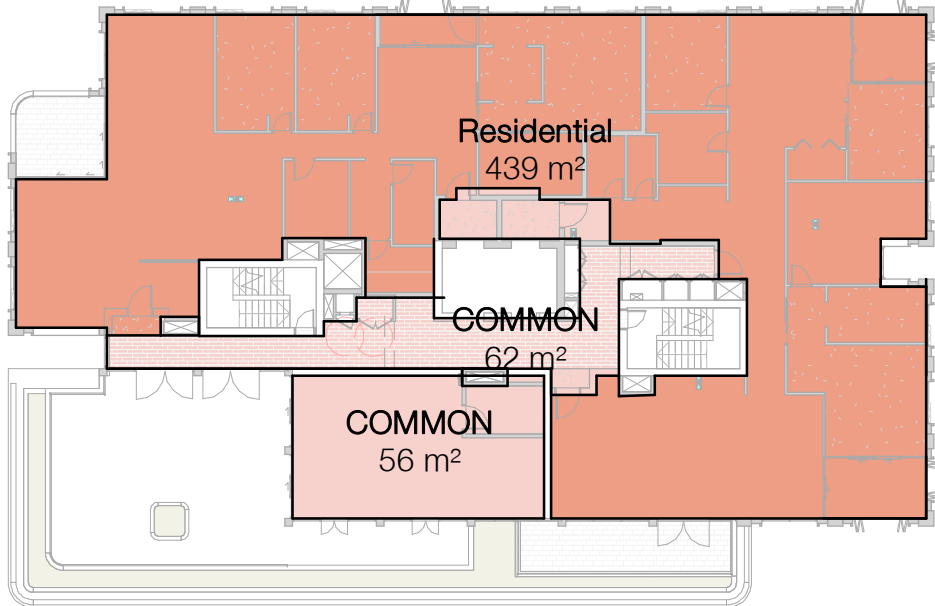
LEVEL 8-11 GFA



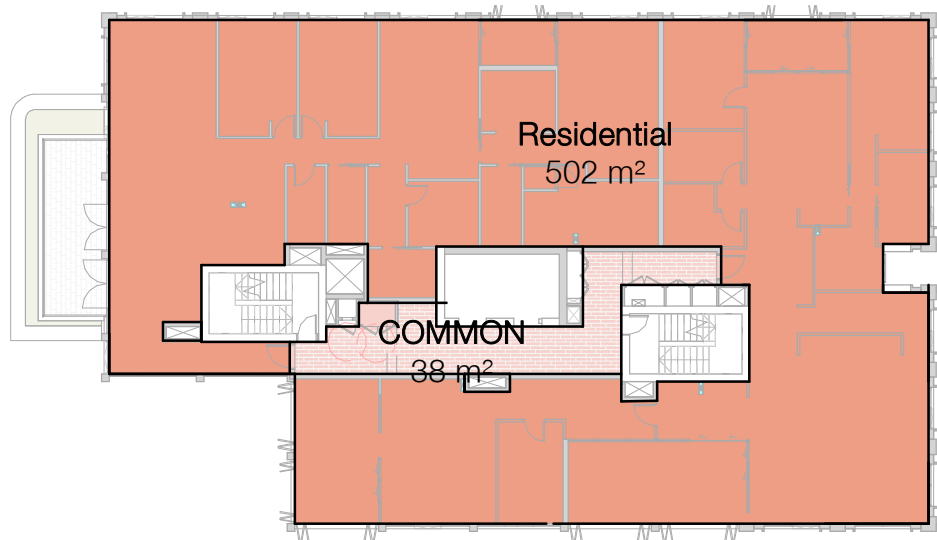
LEVEL 12-13 GFA



LEVEL 14-15 GFA



LEVEL 16 GFA



LEVEL 17 GFA

GFA Schedule V2		
LEVEL	Name	AREA_TOTAL
BASEMENT 4	STORAGE	7 m²
BASEMENT 4	STORAGE	9 m²
BASEMENT 4	COMMON	18 m²
BASEMENT 4	STORAGE	24 m²
BASEMENT 4	STORAGE	64 m²

BASEMENT 3	STORAGE	14 m²
BASEMENT 3	COMMON	11 m²
BASEMENT 3	STORAGE	64 m²

BASEMENT 2	STORAGE	14 m²
BASEMENT 2	COMMON	11 m²
BASEMENT 2	STORAGE	64 m²

BASEMENT 1	COMMON	11 m²
BASEMENT 1	STORAGE	64 m²
BASEMENT 1	COMMON	9 m²

GFA Schedule V2		
LEVEL	Name	AREA_TOTAL
GROUND FLOOR	Retail	40 m²
GROUND FLOOR	COMMON	56 m²
GROUND FLOOR	Residential	174 m²
GROUND FLOOR	COMMON	9 m²

UPPER GROUND	COMMON	444 m²
UPPER GROUND	Residential	194 m²

LEVEL 1	COMMON	62 m²
LEVEL 1	COMMUNITY HALL	118 m²
LEVEL 1	Residential	279 m²
LEVEL 1	CHILDCARE	428 m²

LEVEL 2	COMMON	57 m²
LEVEL 2	Residential	301 m²
LEVEL 2	Residential	368 m²

LEVEL 3	COMMON	56 m²
LEVEL 3	Residential	303 m²
LEVEL 3	Residential	359 m²

LEVEL 4	COMMON	56 m²
LEVEL 4	Residential	291 m²
LEVEL 4	Residential	303 m²

LEVEL 5	COMMON	56 m²
LEVEL 5	Residential	291 m²
LEVEL 5	Residential	303 m²

GFA Schedule V2		
LEVEL	Name	AREA_TOTAL
LEVEL 6	COMMON	56 m²
LEVEL 6	Residential	291 m²
LEVEL 6	Residential	303 m²

LEVEL 7	COMMON	56 m²
LEVEL 7	Residential	291 m²
LEVEL 7	Residential	303 m²

LEVEL 8	COMMON	56 m²
LEVEL 8	Residential	291 m²
LEVEL 8	Residential	303 m²

LEVEL 9	COMMON	56 m²
LEVEL 9	Residential	291 m²
LEVEL 9	Residential	303 m²

LEVEL 10	COMMON	56 m²
LEVEL 10	Residential	291 m²
LEVEL 10	Residential	303 m²

LEVEL 11	COMMON	56 m²
LEVEL 11	Residential	291 m²
LEVEL 11	Residential	303 m²

LEVEL 12	COMMON	55 m²
LEVEL 12	Residential	285 m²
LEVEL 12	Residential	303 m²

GFA Schedule V2		
LEVEL	Name	AREA_TOTAL
LEVEL 13	COMMON	55 m²
LEVEL 13	Residential	285 m²
LEVEL 13	Residential	303 m²

LEVEL 14	COMMON	55 m²
LEVEL 14	Residential	285 m²
LEVEL 14	Residential	303 m²

LEVEL 15	COMMON	55 m²
LEVEL 15	Residential	285 m²
LEVEL 15	Residential	303 m²

LEVEL 16	COMMON	56 m²
LEVEL 16	COMMON	62 m²
LEVEL 16	Residential	439 m²

LEVEL 17	COMMON	38 m²
LEVEL 17	Residential	502 m²
TOTAL AREA		12492 m²

APPROVED DA GFA SUMMARY

RISER PROVISION	-81 m²
TOTAL GFA	8720 m²

V1: CURRENT REVISED GFA SUMMARY
(AT DA APPROVED EXISTING GROUND LEVEL)

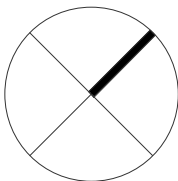
RISER PROVISION	-104 m²
TOTAL GFA	11842 m²

V2: CURRENT REVISED GFA SUMMARY
(AT BASEMENT 4 EXISTING GROUND LEVEL)

RISER PROVISION	-104 m²
TOTAL GFA	12388 m²

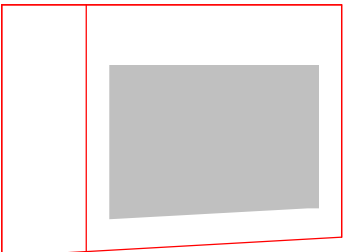
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Nominated Architects: Adam Haddow-7188 | John Pradel-7004



0 1 2 5m
1:100 @A1

Rev	Date	Revision	By	Chk.
54	13/12/2022	FINAL MODIFICATION SUBMISSION	ML	AH
55	11/09/2023	FOR INFORMATION	LL	AH
59	22/09/2023	FOR INFORMATION	LL	AH
64	08/03/2024	FOR INFORMATION	LL	AH
66	05/04/2024	FOR INFORMATION	LL	AH



Client

HYECORP

Project

St Leonards
13-19 Canberra Ave
St Leonards
Drawing Name
GFA PLAN SHEET 02 - V2

Date

05/04/2024 1 : 300

Drawn

LL

Drawing No.

DA-3002-2

Scale

1 : 300

Chk.

AH

Revision

/ 66

Sheet Size

@ A1

Job No.

6429

Revision

/ 66

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2010 Australia
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13-19 Canberra Ave St Leonards

Landscape Development Application - Affordable Housing

DRAWINGS

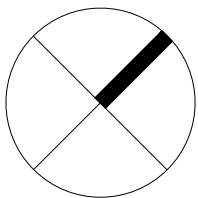
DWG NO.	DRAWING TITLE	SCALE
AH-000	COVER SHEET	N/A
AH-100	LANDSCAPE GROUND & UPPER GROUND - GENERAL ARRANGEMENT	1:100
AH-101	LANDSCAPE LEVEL 1 - GENERAL ARRANGEMENT	1:100
AH-102	LANDSCAPE LEVEL 2 - GENERAL ARRANGEMENT	1:100
AH-103	LANDSCAPE LEVEL 4 - GENERAL ARRANGEMENT	1:100
AH-104	LANDSCAPE LEVEL 16 - GENERAL ARRANGEMENT	1:100
AH-105	LANDSCAPE LEVEL 17 - GENERAL ARRANGEMENT	1:100
AH-200	LANDSCAPE GROUND - PLANTING PLAN	1:100
AH-201	LANDSCAPE LEVEL 1 - PLANTING PLAN	1:100
AH-202	LANDSCAPE LEVEL 2 - PLANTING PLAN	1:100
AH-203	LANDSCAPE LEVEL 4 - PLANTING PLAN	1:100
AH-204	LANDSCAPE LEVEL 16 - PLANTING PLAN	1:100
AH-205	LANDSCAPE LEVEL 17 - PLANTING PLAN	1:100
AH-500	LANDSCAPE SPECIFICATION NOTES	N/A
AH-501	LANDSCAPE DETAILS	N/A
AH-502	LANDSCAPE DETAILS	N/A
AH-503	LANDSCAPE DETAILS	N/A
AH-601	LANDSCAPE ELEVATION	N/A
AH-602	LANDSCAPE ELEVATION	N/A
AH-603	LANDSCAPE ELEVATION	N/A
AH-604	LANDSCAPE ELEVATION	N/A
AH-605	LANDSCAPE ELEVATION	N/A

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The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

A	For DA Approval	NH	RS	08.04.2024
Issue	Revision Description	Drawn	Check	Date

LEGEND



Client:
HYECORP
Property Group

Project:
13 - 19 Canberra Ave St leonards

S I T E I M A G E

Level 1, 3-5 Baptist Street
Redfern NSW 2016
Australia

Tel: (61 2) 8332 5600
Fax: (61 2) 9698 2877
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ABN 44 801 262 380

Landscape Architects

DEVELOPMENT APPLICATION

Drawing Name:
Cover Sheet

Scale:	Drawing Number:	Issue:
Job Number:	SS21-4691-1	AH-000 H

NOT FOR CONSTRUCTION

- LEGEND**
- Site Boundary
 - Proposed trees (Refer Planting Plans)
 - Shrubs and Accents (Refer Planting Plans)
 - Ground covers & Grasses (Refer Planting Plans)
 - Lawn
 - Exposed aggregate concrete paving
 - Timber decking
 - Unit paver
 - Gravel
 - Furniture
 - Flat Bar Palisade fence
 - Basement under
 - Soil Depth
 - OSD Tank Below
 - Rainwater outlet
 - Hose cock

Client:
HYECORP
Property Group

Project:
13 - 19 Canberra Ave St leonards

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Site Image (NSW) Pty Ltd
ABN 44 801 262 380

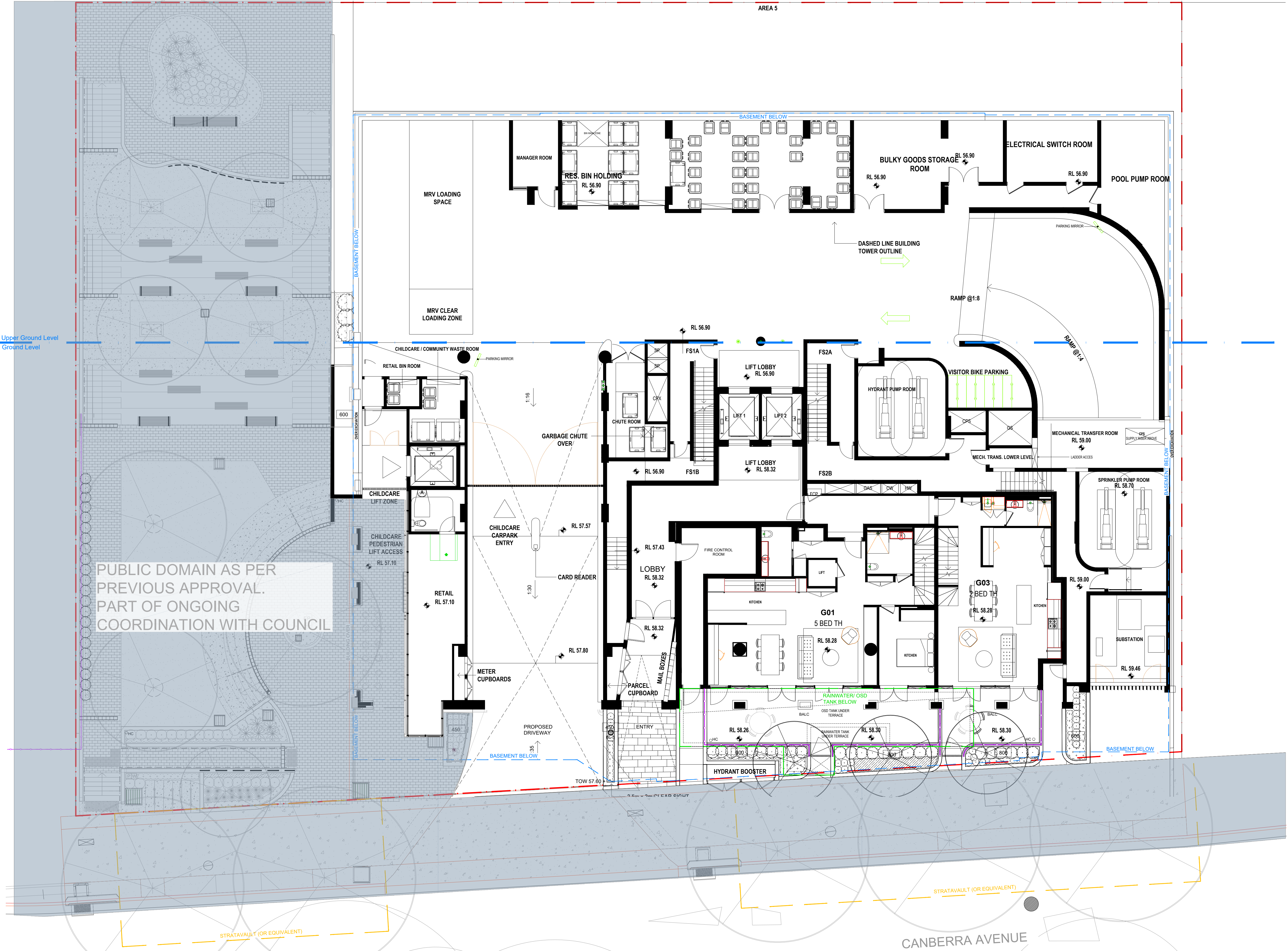


DEVELOPMENT APPLICATION

Drawing Name:
**Landscape ground & upper ground
General arrangment plan**

Scale: 1:100 @ A1
Job Number:
Drawing Number:
Issue:

SS21-4691-1 **AH-100 A**



NOT FOR CONSTRUCTION

PUBLIC DOMAIN AS PER
PREVIOUS APPROVAL.
PART OF ONGOING
COORDINATION WITH COUNCIL

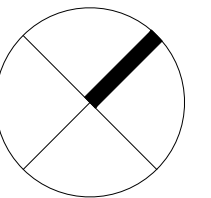
Upper Ground Level
Ground Level

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A For DA Approval Issue Revision Description NH RS 08.04.2024 Drawn Check Date

- LEGEND**
- Site Boundary
 - Proposed trees (Refer Planting Plans)
 - Shrubs and Accents (Refer Planting Plans)
 - Ground covers & Grasses (Refer Planting Plans)
 - Lawn
 - Exposed aggregate concrete paving
 - Timber decking
 - Unit paver
 - Gravel
 - Furniture



Client:
HYECORP
Property Group

Project:
13 - 19 Canberra Ave St leonards

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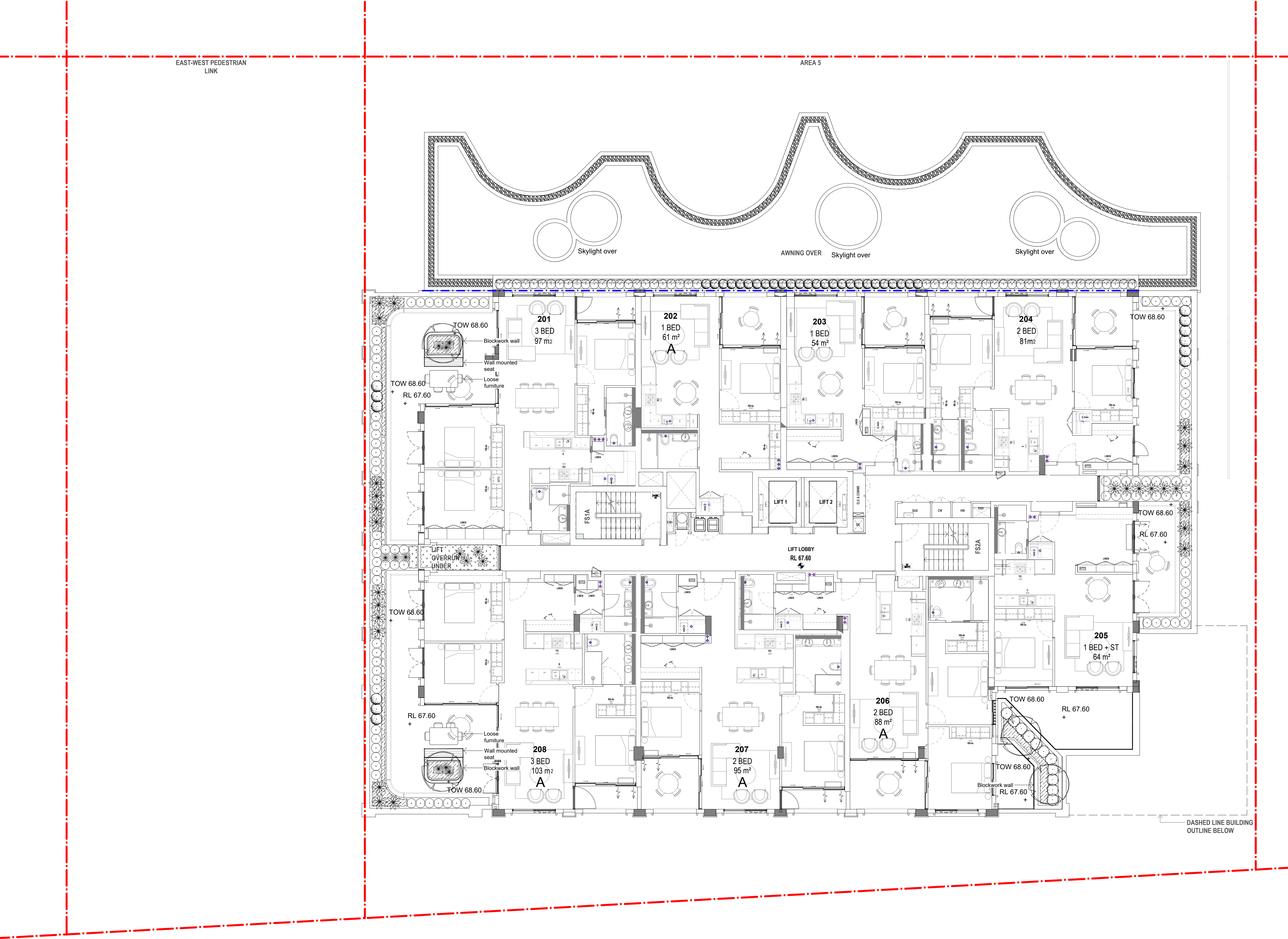
DEVELOPMENT APPLICATION

Drawing Name:
Landscape Level 1
General arrangement

Scale: 1:100 @ A1
Job Number: Drawing Number: Issue:

SS21-4691-1 AH-101 A

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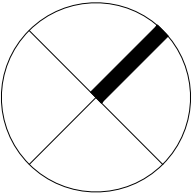


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Drawing Name:
Landscape Level 2
General arrangement

Scale: 1:100 @ A1
Job Number: Drawing Number: Issue:

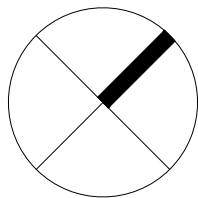
SS21-4691-1 AH-102 A

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DEVELOPMENT APPLICATION

Drawing Name:
Landscape Level 4
General arrangement

Scale: 1:100 @ A1
Job Number:
Drawing Number:
Issue:

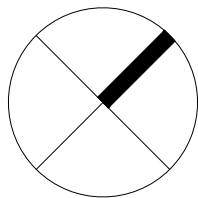
SS21-4691-1 **AH-103 A**

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Issue	Revision Description	Drawn	Check	Date

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DEVELOPMENT APPLICATION

Drawing Name:
Landscape Level 16
General arrangement

Scale: 1:100 @ A1
Job Number:
Drawing Number:
Issue:

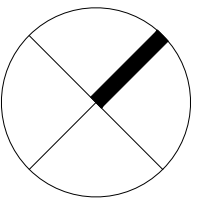
SS21-4691-1 **AH-104** **A**

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Issue	Revision Description	Drawn	Check	Date

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Property Group

Project:
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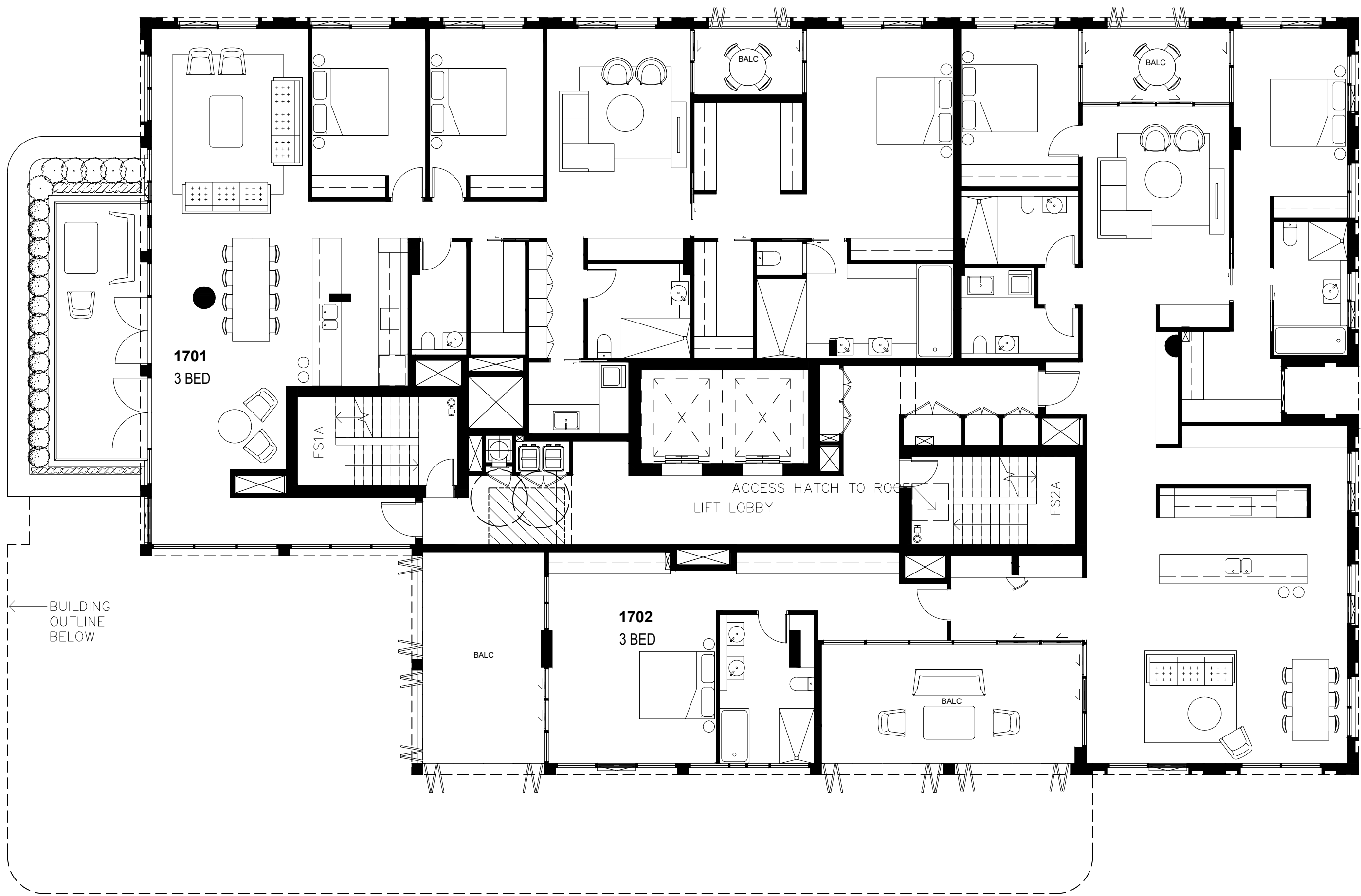
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Drawing Name:
Landscape Level 17
General arrangement
Scale: 1:100 @ A1
Job Number:
SS21-4691-1
Drawing Number:
AH-105
Issue:
A

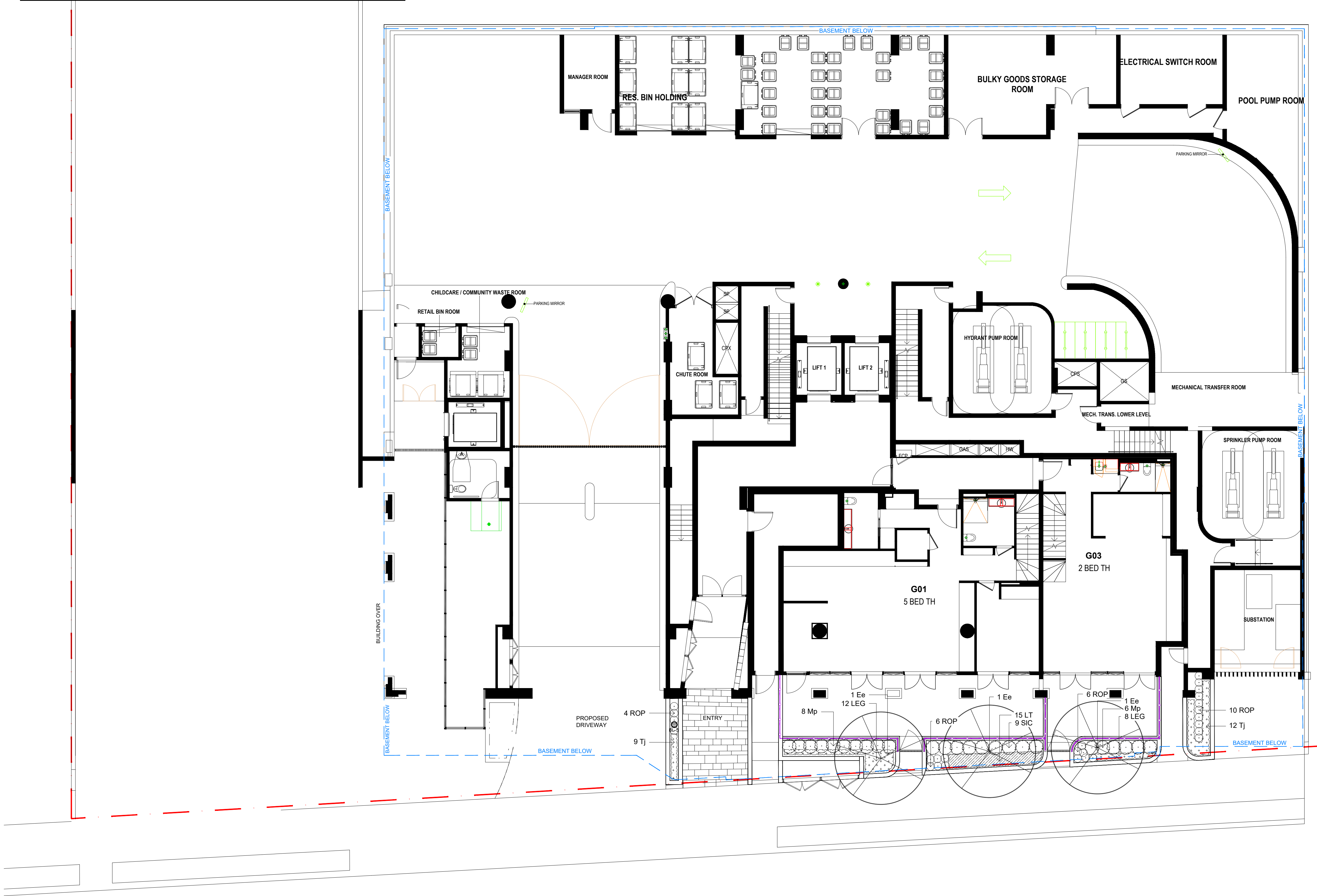
EAST-WEST
PEDESTRIAN LINK

AREA 5



NOT FOR CONSTRUCTION

13 - 19 Canberra Ave St Leonards					
GROUND FLOOR PLANT SCHEDULE					
Code	Botanical Name	Common Name	Mature size H x W (m)	Pot size	Quantity
Trees					
Ee	<i>Elaeocarpus eumundii</i>	Smooth-Leaved Quandong	10 x 5	100lt	3
Shrub & Accent					
Mp	<i>Murraya paniculata</i>	Orange Jessamine	3.0 x 2.0	300mm	14
ROP	<i>Raphiolepis indica</i> 'Oriental Pearl'	Oriental Pearl Indian Hawthorn	0.5 x 1.5	300mm	26
SIC	<i>Syzygium luhemannii</i> 'Cascade'	Weeping Lilly Pilly	4.0 x 2.0	300mm	9
Groundcovers and Grasses					
LEG	<i>Liriope muscari</i> 'Evergreen Giant'	Lily Turf	0.6 x 0.5	150mm	20
LT	<i>Lomandra</i> 'Tanika'	Tanika Mat Rush	0.6 x 0.6	150mm	15
TJ	<i>Trachelospermum jasminoides</i>	Star Jasmine	0.3 x 0.5	150mm	21



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Issue Revision Description
NH RS 08.04.2024
Drawn Check Date

LEGEND

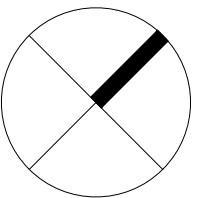
Site Boundary

Proposed trees
(Refer Planting Plans)

Shrubs and Accents
(Refer Planting Plans)

Ground covers & Grasses
(Refer Planting Plans)

Lawn



Client:
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Property Group

Project:
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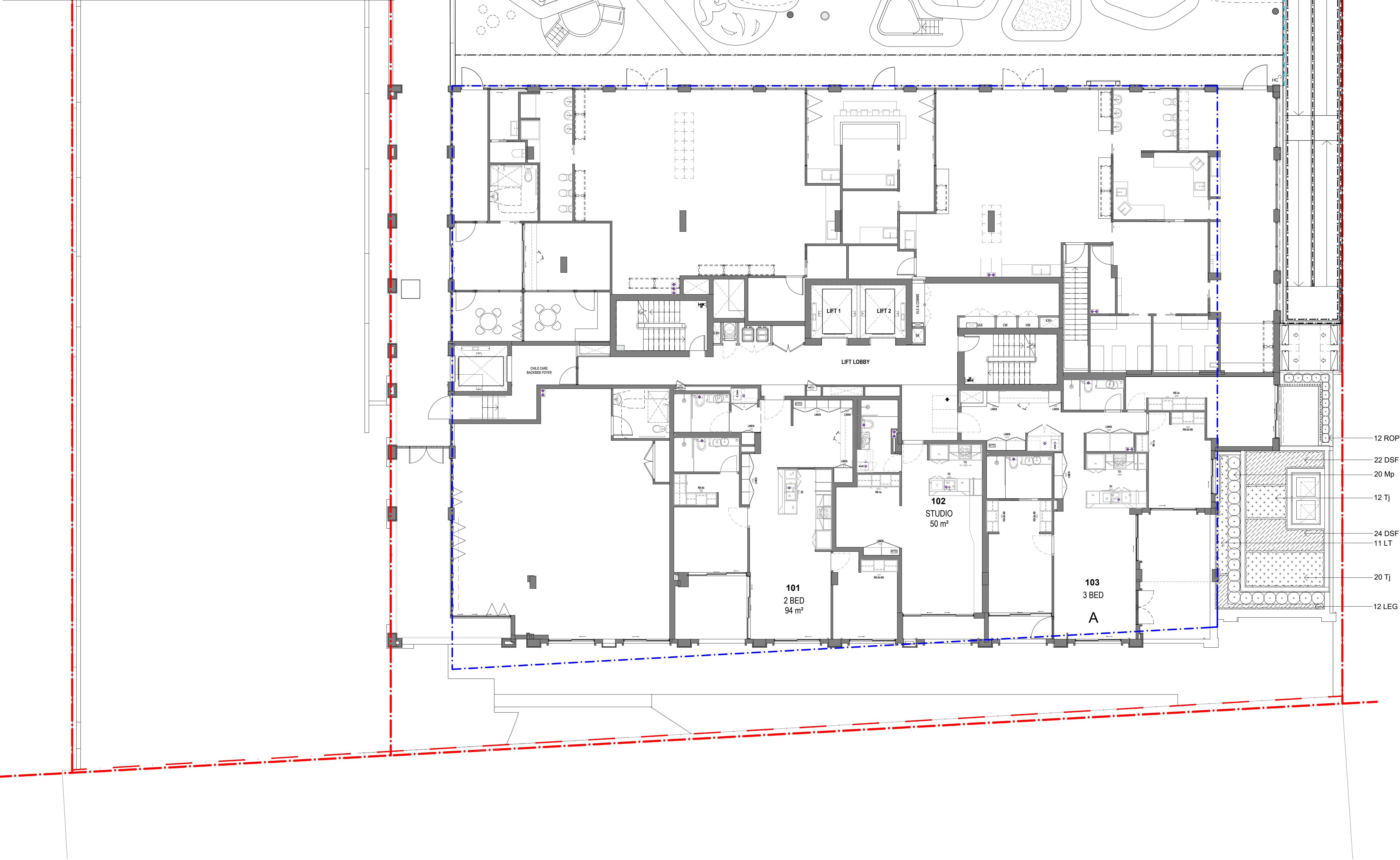
Drawing Name:
Landscape Ground
Planting plan

Scale: 1:100 @ A1
Job Number:
SS21-4691-1

0 1 2 3 4 5m
Drawing Number:
Issue:
AH-200 A

NOT FOR CONSTRUCTION

LEVEL 1 PLANT SCHEDULE					
Code	Botanical Name	Common Name	Mature size H x W (m)	Pot size	Quantity
Trees					
Esa	<i>Eucalyptus scoparia</i>	Whitegum	12 x 10	100lt	4
Jm	<i>Jacaranda mimosifolia</i>	Blue Jacaranda	10 x 8	100lt	1
Wf	<i>Waterhousia floribunda</i>	Weeping Lilly Pilly	8 x 5	100lt	4
Shrub & Accent					
Acm	<i>Arthopodium cirratum</i>	NZ Flax lily	0.8 x 0.8	300mm	8
Mp	<i>Murraya paniculata</i>	Orange Jessamine	3 x 2	300mm	20
ROP	<i>Raphiolepis indica</i> 'Oriental Pearl'	Oriental Pearl Indian Hawthorn	0.5 x 1.5	300mm	12
SIC	<i>Syzygium luhmannii</i> 'cascade'	Weeping Lilly Pilly	4.0 x 2.0	300mm	70
Vo	<i>viburnum odoratissimum</i>	Sweet Viburnum	2.0 x 1.8	300mm	7
Groundcovers and Grasses					
DSF	<i>Dichondra argentea</i> 'Silver Falls'	Kidney Weed	0.2 x 2	150mm	46
Fp	<i>Ficus pumila</i>	Creeping fig	0.3 x 1.5	150mm	5
LEG	<i>Liriope muscari</i> 'Evergreen Giant'	Lily Turf	0.6 x 0.5	150mm	12
LT	<i>Lomandra 'Tanika'</i>	Tanika Mat Rush	0.6 x 0.6	150mm	11
So	<i>Salvia officinalis</i>	Salvia	0.4 x 0.4	150mm	40
TJ	<i>Trachelospermum jasminoides</i>	Star Jasmine	0.3 x 0.5	150mm	32
Vh	<i>Viola hederacea</i>	Native Violet	0.1 x 0.6	150mm	40



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LEGEND

Site Boundary

Proposed trees
(Refer Planting Plans)

Shrubs and Accents
(Refer Planting Plans)

Ground covers & Grasses
(Refer Planting Plans)

Lawn

Client:
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Project:
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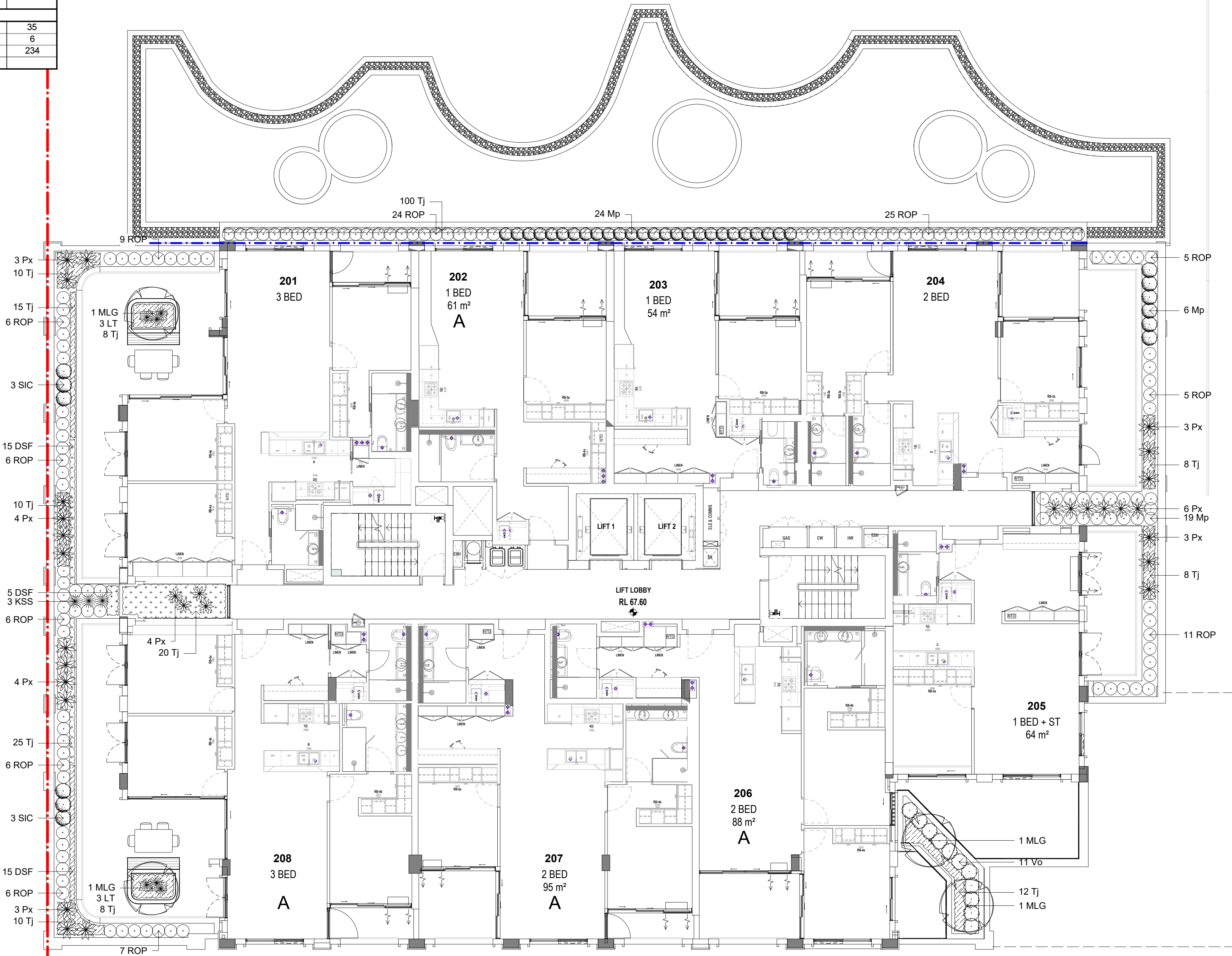
Drawing Name:
Landscape Level 1
Planting plan

Scale: 1:100 @ A1
Job Number:
SS21-4691-1

0 1 2 3 4 5m
Drawing Number:
Issue:
AH-201 A

NOT FOR CONSTRUCTION

LEVEL 2 PLANT SCHEDULE					
Code	Botanical Name	Common Name	Mature size H x W (m)	Pot size	Quantity
Trees					
MLG	<i>Magnolia grandiflora</i> 'Little Gem'	Little Gem	5 x 3	100lt	4
Shrub & Accent					
KSS	<i>Kalanchoe 'Silver Spoons'</i>	Silver Spoons	1.5 x 1.0	300mm	3
Mp	<i>Murraya paniculata</i>	Orange Jessamine	3 x 2	300mm	49
Px	<i>Philodendron 'Xanadu'</i>	Dwarf Philodendron	1 x 1	300mm	30
ROP	<i>Rhaphiolepis indica</i> 'Oriental Pearl'	Oriental Pearl Indian Hawthorn	0.5 x 1.5	300mm	116
SIC	<i>Syzygium luhemannii</i> 'Cascade'	Weeping Lilly Pilly	4.0 x 2.0	300mm	6
Vo	<i>Viburnum odoratissimum</i>	Sweet Viburnum	2.0 x 1.8	300mm	11
Groundcovers and Grasses					
DSF	<i>Dichondra argentea</i> 'Silver Falls'	Kidney Weed	0.2 x 2	150mm	35
LT	<i>Lomandra 'Tanika'</i>	Tanika Mat Rush	0.6 x 0.6	150mm	6
TJ	<i>Trachelospermum jasminoides</i>	Star Jasmine	0.3 x 0.5	150mm	234

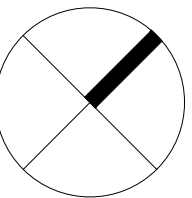


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 - Ground covers & Grasses (Refer Planting Plans)
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Client:
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Property Group

Project:
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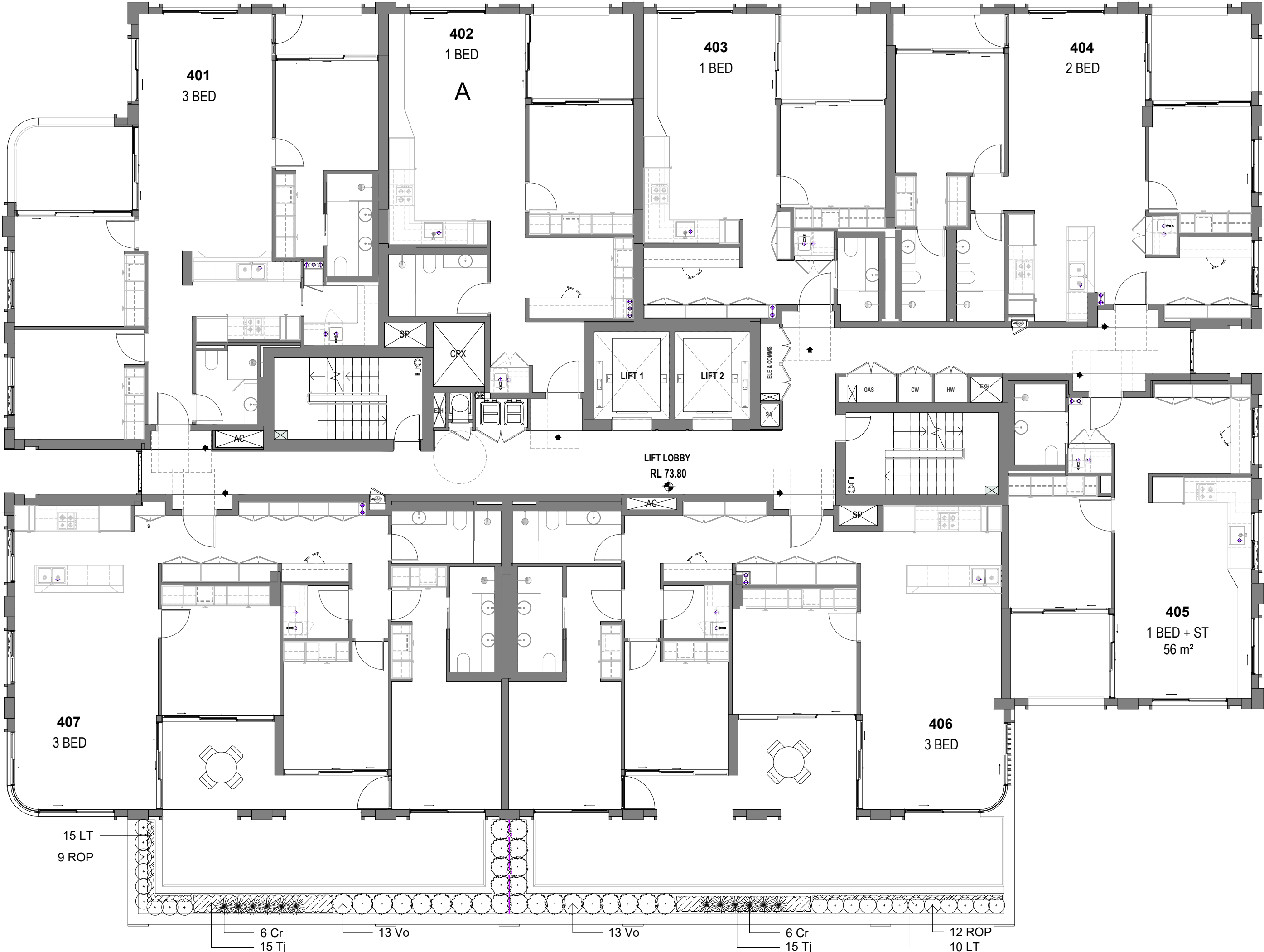
Drawing Name:
Landscape Level 2
Planting plan

Scale: 1:100 @ A1
Job Number:
Drawing Number:
Issue:

SS21-4691-1 **AH-202 A**

NOT FOR CONSTRUCTION

LEVEL 4 PLANT SCHEDULE					
Code	Botanical Name	Common Name	Mature size H x W (m)	Pot size	Quantity
Shrub & Accent					
Cr	<i>Cycas revoluta</i>	Sago Palm	1.2 x 1.5	300mm	12
ROP	<i>Rhaphiolepis indica</i> 'Oriental Pearl'	Oriental Pearl Indian Hawthorn	0.5 x 1.5	300mm	21
Vo	<i>viburnum odoratissimum</i>	Sweet Viburnum	2.0 x 1.8	300mm	26
Groundcovers and Grasses					
LT	<i>Lomandra 'Tanika'</i>	Tanika Mat Rush	0.6 x 0.6	150mm	25
TJ	<i>Trachelospermum jasminoides</i>	Star Jasmine	0.3 x 0.5	150mm	30

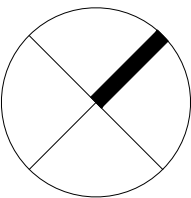


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DEVELOPMENT APPLICATION

Drawing Name:
Landscape Level 4
Planting plan

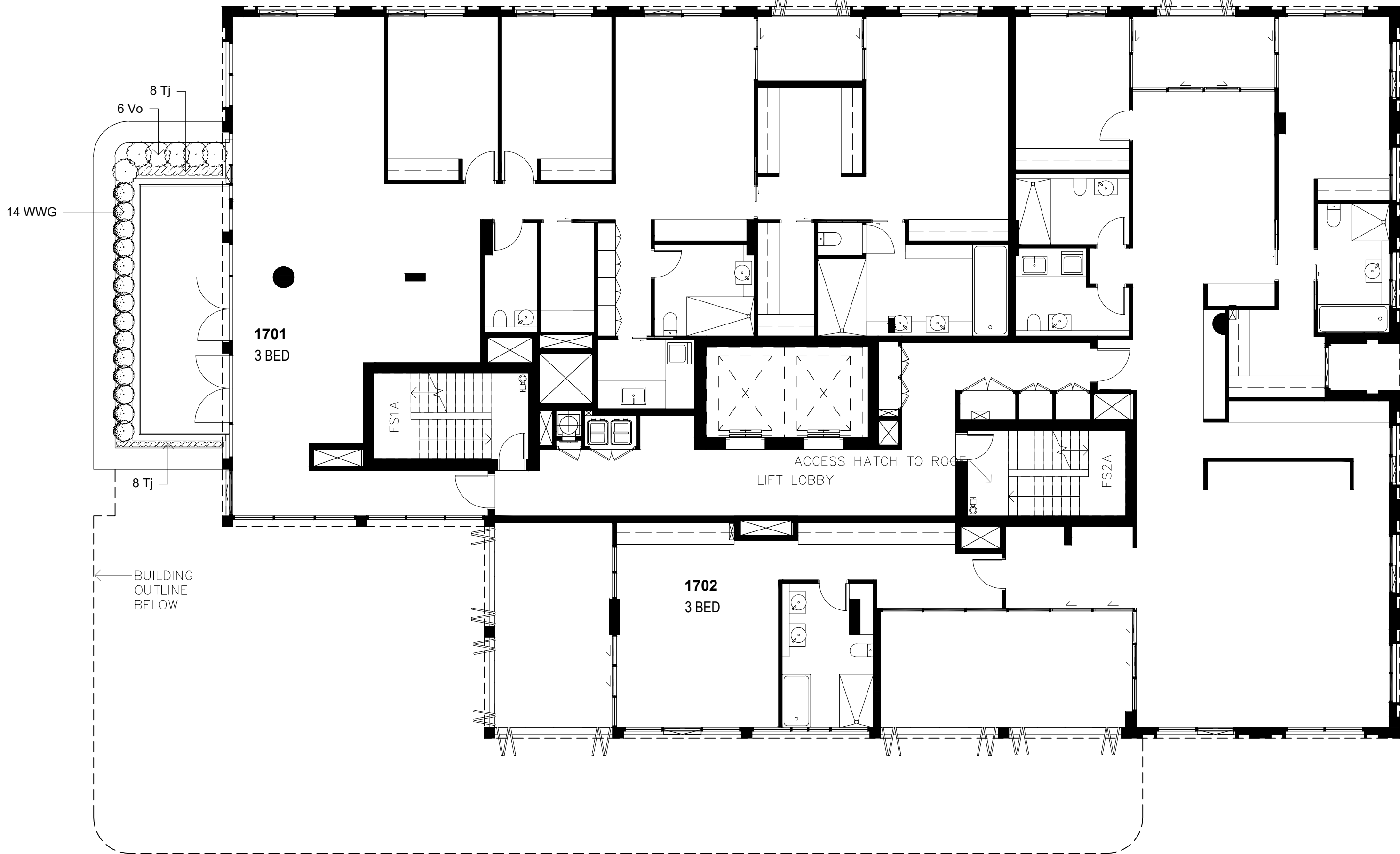
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Drawing Number: Issue:

SS21-4691-1

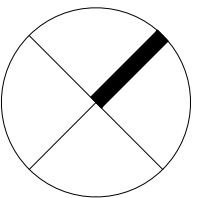
AH-203 A

LEVEL 17 PLANT SCHEDULE					
Code	Botanical Name	Common Name	Mature size H x W (m)	Pot size	Quantity
Shrub & Accent					
Vo	<i>viburnum odoratissimum</i>	Sweet Viburnum	2.0 x 1.8	300mm	6
WWG	<i>Westringia 'Wynyabbie Gem'</i>	Wynyabbie Rosemary	1 x 1	300mm	14
Groundcovers and Grasses					
Tj	<i>Trachelospermum jasminoides</i>	Star Jasmine	0.3 x 0.5	150mm	16



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DEVELOPMENT APPLICATION

Drawing Name:
Landscape Level 17
Planting plan

Scale: 1:100 @ A1
Job Number:

0 1 2 3 4 5m
Drawing Number: Issue:

SS21-4691-1

AH-205 A

LANDSCAPE SPECIFICATION NOTES

GENERAL NOTES

References

All plans and details included in the project documents shall be read in conjunction with this specification. All structural and civil works components of the landscape design shall be referenced to engineers' details and specifications. Read this specification in conjunction with the plant and materials schedules on the drawings. If in doubt about any detail or if conflicts are found in the documents, seek advice.

Workmanship and Materials

The whole of the landscape works shall be carried out by a competent, trained and qualified landscape contractor who is experienced in horticultural practices, landscape construction and planting techniques. The landscape contractor shall hold a current Building Contractors License and/or be a financial member of LNA Landscape Association NSW & ACT or equivalent organisations in other states.

EXISTING TREES AND SHRUBS

Trees and Shrubs to be Retained and Protected

Identify and mark trees and shrubs to be retained using a suitable non-injurious, easily visible and removable means of identification. Protect from damage the trees and shrubs to be retained, including those beyond the site area, both above and below the ground. If a tree becomes damaged during the works or it is proposed to perform work on a tree, give written notice immediately and obtain instructions.

Work Near Trees and Shrubs

Keep the area of the drip-line free from construction material and debris. Do not place bulk materials and harmful materials under foliage canopies or near trees. Do not place spoil from excavations against tree trunks. Prevent wind-blown building materials, such as cement, from covering trees and other plants. Do not remove topsoil from, or add topsoil to, the area within the drip-line of trees.

EARTHWORKS

Excavation, Trimming and Filling

Except as otherwise noted in the contract, bulk excavation is excluded from the landscape works. After the completion of bulk excavation by others, trim and fill the excavated ground surfaces to achieve design levels to accommodate finish materials as detailed. Prepare the sub-grade surface as required for the various finished ground treatments.

Site Drainage

Keep the excavated works drained and free of standing water. Allow to supply and install sub-soil drainage pipes as required for the new works to ensure that all gardens are well drained. Connect the sub-soil drainage pipes to the nearest downstream stormwater pits. Include pipe filter socks and course sharp aggregate backfilling of trenches.

HARDWORKS

Furniture, Handrails, Balustrades

Supply and install the scheduled items in accordance with the manufacturer's recommendations, as detailed and in the locations shown on plan. Provide all footings and fixings required for the items to be stable and in accordance with applicable codes and standards.

- Balustrades: Equal to Stainform ONYX 50 316 Satin SS
- Handrails: Equal to Stainform ONYX 50 316 Satin SS

Garden Walls, Fences, Steps, TGSi and Edging

Construct garden walls, fences, steps, TGSi and edging as shown on plan, as detailed and of the material scheduled. Provide footings, step nosings, tactile surfaces to comply with Australian Standards and applicable legislation. Refer to engineer's details for structural retaining walls, concrete stairs, concrete strength, reinforcing and joint placement.

Continuous, Unit and Loose Pavement

Install the scheduled material pavement to the locations shown on plan. Ensure that all subgrade/subsurface works are complete prior to commencing paving. Confer with the engineer to ensure the structural integrity of the subgrade. Ensure that the base course under paved surfaces is a continuous plane offering a constant depth of bedding material not exceeding 50mm. If laying unit pavers in a cement mortar bed on a concrete sub-base ensure that joints in paving match the location of joints in the concrete. Refer to engineer's details for heavy duty slabs, concrete stairs, concrete strength, reinforcing, and joint type and placement.

- Insitu concrete paths: Wood float coved finish, tool edged.
- Path joints: Construction joints at 3000mm centres max.

Landscape Structures

All landscape structures shall have a common appearance in detail and material content while providing for the functional design requirements. The structure of all elements shall consist of a base frame of structural grade hardwood timber of sizes that sustain spans and maintain stability. Refer to drawn details for further information.

SOFTWORKS

Site Soil Testing

Where site soil is to be retrieved from site and stored on site for reuse, undertake at least two (2) soil tests in locations as advised by the Project Manager or as shown on the plans. Provide results and recommendations regarding soil additives for the benefit of healthy plant growth and to adjust the soil components to achieve an appropriate planting medium for successful plant development. Where topsoil is imported to site no testing of the imported soil is necessary but ensure that imported soil can be supplied with test data to verify that it suits the design plants.

Subsoil

Excavate and/or fill all garden beds to bring the top of subsoil to at least 300mm below finished design soil levels. Excavate all turf areas to bring the subsoil to at least 100mm below finished design levels. In all areas shape the subsoil to fall to subsoil drains where applicable. Do not excavate within the drip line of trees and shrubs to be retained. Cultivate or rip the subsoil to a further depth of 100mm before placing top soil. Remove stones of size exceeding 25mm, clods of earth exceeding 50mm, and weeds, rubbish or other deleterious material brought to the surface during cultivation. Do not disturb services or existing tree roots. If necessary, cultivate these areas by hand. During cultivation, thoroughly mix in materials required to be incorporated into the subsoil, as recommended in the soil testing results and to manufacturer's recommendations. Trim the surface to design levels again after cultivation.

Subsoil Drainage

Provide and install subsoil drainage equal to Vinidex 65mm (min) Draincoil with filter sock at the base of slopes, on the high side of paths, at the base behind retaining walls and where water is likely to accumulate at depth in the soil. Connect all subsoil drainage to the nearest downstream stormwater pit to ensure that subsoil water is managed and channelled to a stormwater drainage system. On sites with cross fall of less than 1:50 install subsoil drains to remove excess water from the subsoil in areas where water is likely to accumulate and may not penetrate lower strata naturally. Rip the sub-base surface 150mm deep before placing any soil. Install drainage pipes in subsoil trenches backfilled with 10mm blue metal (basalt) equal to ANL Blue Metal.

Coordinate the connection of subsoil drains to stormwater pits with the Civil or Hydraulic contractor.

Topsoil

Import topsoil for the garden and turf areas, unless the topsoil can be provided from material recovered from the site, as recommended in the soil testing results. Spread the topsoil on the prepared subsoil and grade evenly, compact lightly and uniformly in 150mm layers. Avoid differential subsidence and excess compaction and produce a finished topsoil surface which has the following characteristics:

- Finished to design levels, allowing for mulch or turf, which is to finish flush with adjoining hard surfaces such as paths and edges;
- Smooth and free from inorganic matter, stones or clods of soil;
- Graded to drain freely, without ponding, to catchment and/or sub-soil drains;
- Graded evenly to adjoining surfaces; and
- Ready for planting.

Compost

Provide, in accordance with AS 4454, well rotted vegetative material or animal manure, free from harmful chemicals, inorganic matter, grass, weeds and the reproductive parts of unwanted plants.

Fertiliser

Provide proprietary fertilisers, delivered to the site in sealed containers marked to show manufacturer or vendor, weight, fertiliser type, N:P:K ratio, recommended uses, application rates and safety procedures. Apply appropriate fertiliser suited to the provenance of plants (indigenous or exotic) included in the design.

Plants

Supply plants in accordance with the landscape design drawings and schedules, which have the following characteristics:

- Large healthy root systems, with no evidence of root curl, restriction or damage;
- Vigorous, well established, free from disease and pests, of good form consistent with the species/variety;
- Hardened off, not soft or forced, and suitable for planting in the natural climatic conditions prevailing at the site in full sun, partial shade or full shade conditions;
- Grown in final containers for not less than twelve weeks;
- Trees, unless required to be multi-stemmed, shall have a single leading shoot; and
- Containers shall be free from weeds and of appropriate size in relation to the specified plant size.

Plant Installation

Following excavation of the planting hole, place and spread 15gms of wetting agent pre-mixed with one (1) litre of water. Place the plant correctly orientated to north or for best presentation. Backfill the planting holes with specified topsoil mixture. Lightly tamp and water to eliminate air pockets. Ensure that the backfill soil is not placed over the top of the root ball and that the root ball is not higher than the soil in which it is planted. Apply fertiliser, as specified around the plants in the soil at the time of planting.

Embankment Stabilisation

Where necessary and shown on the drawings prevent soil erosion or soil movement by stabilising embankments as follows. As a minimum, this should be on slopes steeper than or equal to 1:3 gradient. Stabilise embankments using biodegradable fibre reinforced heavy weight jute fabric. Lay fabric from top to bottom of slope. Install in accordance with manufacturer's specification, including 300 x 300mm anchor trench at top and bottom of slope, backfilled with soil over the fabric and compacted into the trenches. Using U-shaped galvanised steel pegs at 1000 mm centres generally and 250mm centres at edge overlaps, secure the fabric to the prepared soil surface. Plant through the fabric after it is installed.

Root Barrier

Supply and install root control barriers to all new tree plantings adjacent to walls, paths, kerbs and all service trenches, where their proximity poses a threat to the stability of the built infrastructure. Install in accordance with manufacturer's recommendations.

Mulch

Unless noted otherwise, mulch shall be approved proprietary recycled wood fibre or pine bark material. Place mulch in all garden beds to a depth of 75mm after all specified plants are installed. Keep mulch clear of all plant stems and rake to an even plane, flush with the surrounding surfaces evenly graded between design surface levels. Over fill to allow mulch to settle to the specified depth.

Stakes and Ties

Stakes shall be durable hardwood, straight, free of knots and twists, pointed at one end, in the following quantities and sizes for each of the various plant pot sizes:

- Plants >25 lt: 1 off 38 x 38 x 1200mm;
- Semi-advanced plants >75 lt: 2 off 50x50x 1800mm;
- Advanced plants >100 lt: 3 off 50 x 50 x 2400mm.

Turf

Turf shall be delivered to site as 25mm minimum thick cut rolls. Obtain turf from a specialist grower of cultivated turf. Turf shall have an even thickness, free from weeds and other foreign matter. Deliver turf to the site within 24 hours of being cut and lay it within 24 hours of delivery. Prevent it from drying out between cutting and laying. Lay the turf in the following manner:

- In stretcher pattern, joints staggered and close butted;
- Parallel long sides of level areas, with contours on slopes; and
- To finish flush, after lightly tamping, with adjacent finished surfaces and design levels.

Species: *Stenotaphrum secundatum* Sir Walter Soft-leaf Buffalo.

IRRIGATION

Scope: Unless otherwise noted or instructed irrigate all planted areas shown on plans including planters, tubs, gardens, turf and the like. The irrigation system shall be an automatic permanent system, with an irrigation controller self operated via a soil moisture sensor. The system shall be calibrated to deliver the optimum rate and volume of water appropriate to the type of plants in the design. The system shall be adjustable and fully serviceable. The layout of the entire irrigation system shall focus on delivering the required amount of water to maintain healthy and vigorous growth. The irrigation system shall be such that, component theft, vandalism, over-spray and wetting of paths shall be reduced to a minimum or eliminated with the use of drip, pop-up sprinklers and judiciously placed fixed spray emitters. Generally, do not use fine mist emitters that provide a drifting mist that may wet paths and the buildings unless specifically required by the design.

The Landscape Contractor shall engage a qualified irrigation consultant to design the system, document all components, accessories and materials for review by the Landscape Architect prior to starting landscape works generally.

LANDSCAPE MAINTENANCE

The Landscape Contractor shall rectify defects during installation and that become apparent in the works under normal use for the duration of the contract Defects Liability Period. Unless contracted otherwise, the Landscape Contractor shall maintain the contract areas by the implementation of industry accepted horticultural practices for 52 weeks from Practical Completion of the works. The landscape maintenance works shall include, but not be limited to:

- Replacing failed plants;
- Pruning;
- Insect and pest control;
- Fertilising;
- Maintaining and removing stakes and ties;
- Maintaining mulch;

- Mowing and top dressing;
- Irrigation and watering;
- Erosion control; and
- Weeding and rubbish removal.

Maintenance Log Book

Implement and keep a maintenance log book recording when and what maintenance work has been undertaken and what materials, actions and decisions have been used, implemented and concluded to keep the landscape always looking its best. Enter data daily and review information every 2 weeks. Observe trends and develop a maintenance regime around seasonal and observed event occurrences.

Maintenance Activities

During the defect maintenance period schedule the following activities to occur on a timely basis.

Plant replacement - Replace plants that have failed to mature, die or are damaged. Replacement plants shall be in a similar size and quality and identical species or variety to the plant that has failed. Replacement of plants shall be at the cost of the landscape contractor unless advised otherwise. If the cause of the failure is due to a controllable situation then correct the situation prior to replacing plants. Observe and replace failed plants within 2 weeks of observation.

Pruning - Prune dead wood, broken limbs, dead or infected foliage and as needed to develop strong, healthy plants to achieve the shape and form expected of the plant type. Observe daily and prune plants as necessary to maintain acceptable growth habit.

Insect, disease and pest control - Avoid spraying:

- if ever possible;
- in wet weather or if wet weather is imminent;
- if target plants are still wet after rain;
- in windy weather; and
- if non-target species are too close.

Immediately report to the Project Manager any evidence of intensive weed infestation, insect attack or disease amongst plant material. Submit all proposals to apply chemicals and obtain approval before starting this work. When approved, spray with herbicide, insecticide, fungicide as appropriate in accordance with the manufacturers' recommendations. Observe daily and act as necessary to control any infestation or disease. Record in the logbook all relevant details of spraying activities including:

- Product brand / manufacturer's name,
- Chemical / product name,
- Chemical contents,
- Application quantity and rate,
- Date of application and location,
- Results of application, and
- Use approval authority.

Fertilising

Fertilise gardens with a proprietary slow release fertiliser applied in accordance with the manufacturer's directions and recommendations. Apply 6-12 monthly. Record in the logbook all relevant details of fertilising including:

- Product brand / manufacturer's name,
- Fertiliser / product name,
- Application quantity and rate, and
- Date of application and location.

Stakes and ties - Adjust and replace as required to ensure plants remain correctly staked. Remove those not required at the end of the planting establishment period (Defects Liability Period). Inspect and act at least every 2 weeks.

Maintaining mulch - Maintain the surface in a clean, tidy and weed free condition and reinstate the mulch as necessary to ensure correct depth as specified. Observe weekly and replenish mulch as required.

Mowing and top dressing - Mow the turf to maintain a grass height of between 30-50mm. Do not remove more than one third of the grass height at any one time. Remove grass clippings from the site after each mowing. Top dress to a maximum of 10mm to fill depressions and hollows in the surface. Mow weekly/fortnightly in warmer months. Mow monthly or as required in cooler months. Top dress at approximately 6 monthly intervals.

Irrigation and watering - Maintain the irrigation system to sure that each individual plant receives the required amount of water to maintain healthy and vigorous growth. Adjust and calibrate as required. Provide additional watering, if necessary but inspect irrigation weekly and make repairs as necessary.

Erosion control - Where necessary, maintain the erosion control fabric in a tidy and weed free condition and reinstate as necessary to ensure control measures are effective where deemed necessary. Inspect every 2 weeks and act to repair any damage as soon as possible.

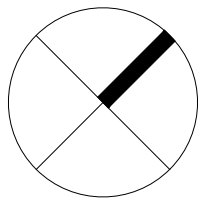
Weeding and rubbish removal - During the plant establishment period remove by hand, rubbish and weed growth that may occur or re-occur throughout all planted, mulched and paved areas. The contractor shall target weeds that are capable of producing a major infestation of unwanted plants by seed distribution. Whenever possible, time weed removal to precede flowering and seed set. Constant observation and removal of weeds is essential.

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Issue	Revision Description	Drawn	Check	Date

LEGEND



Client:
HYECORP
Property Group

Project:
13 - 19 Canberra Ave St leonards

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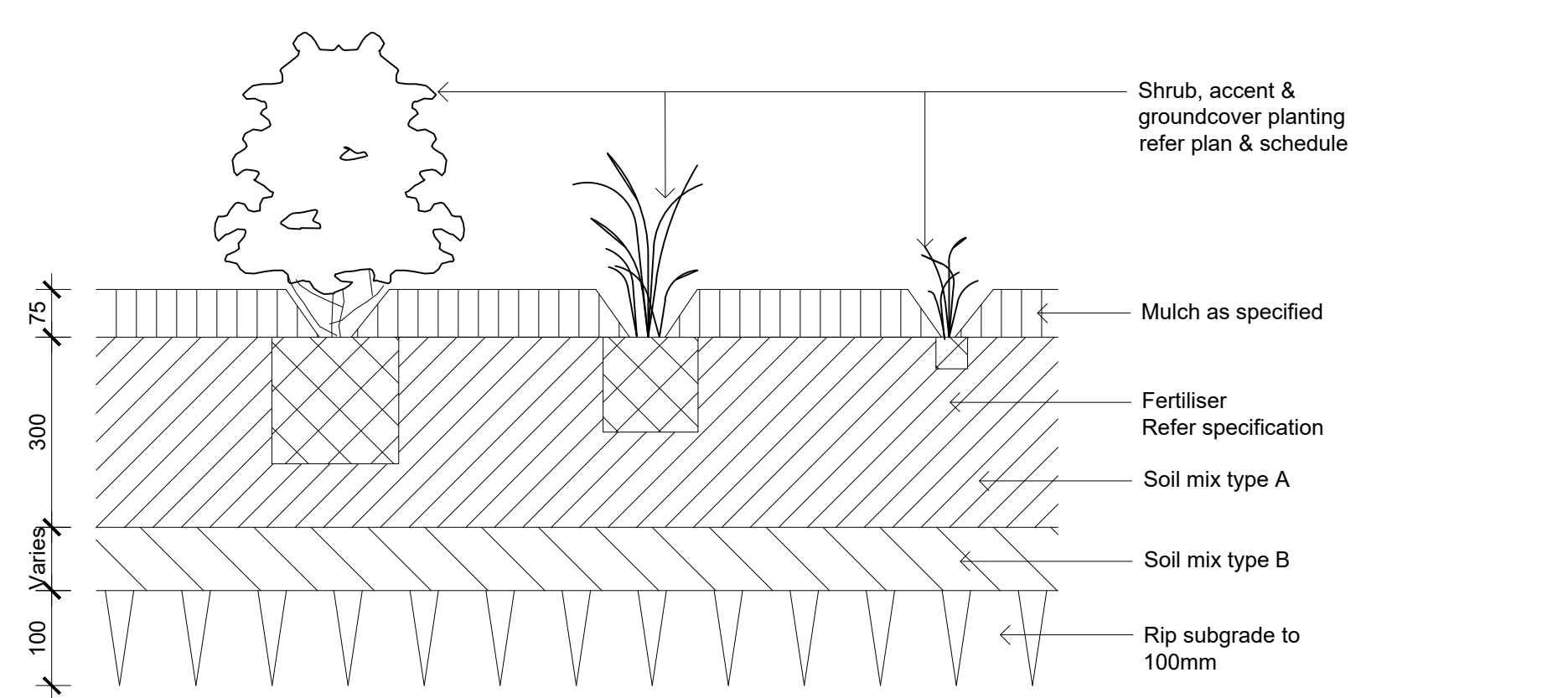
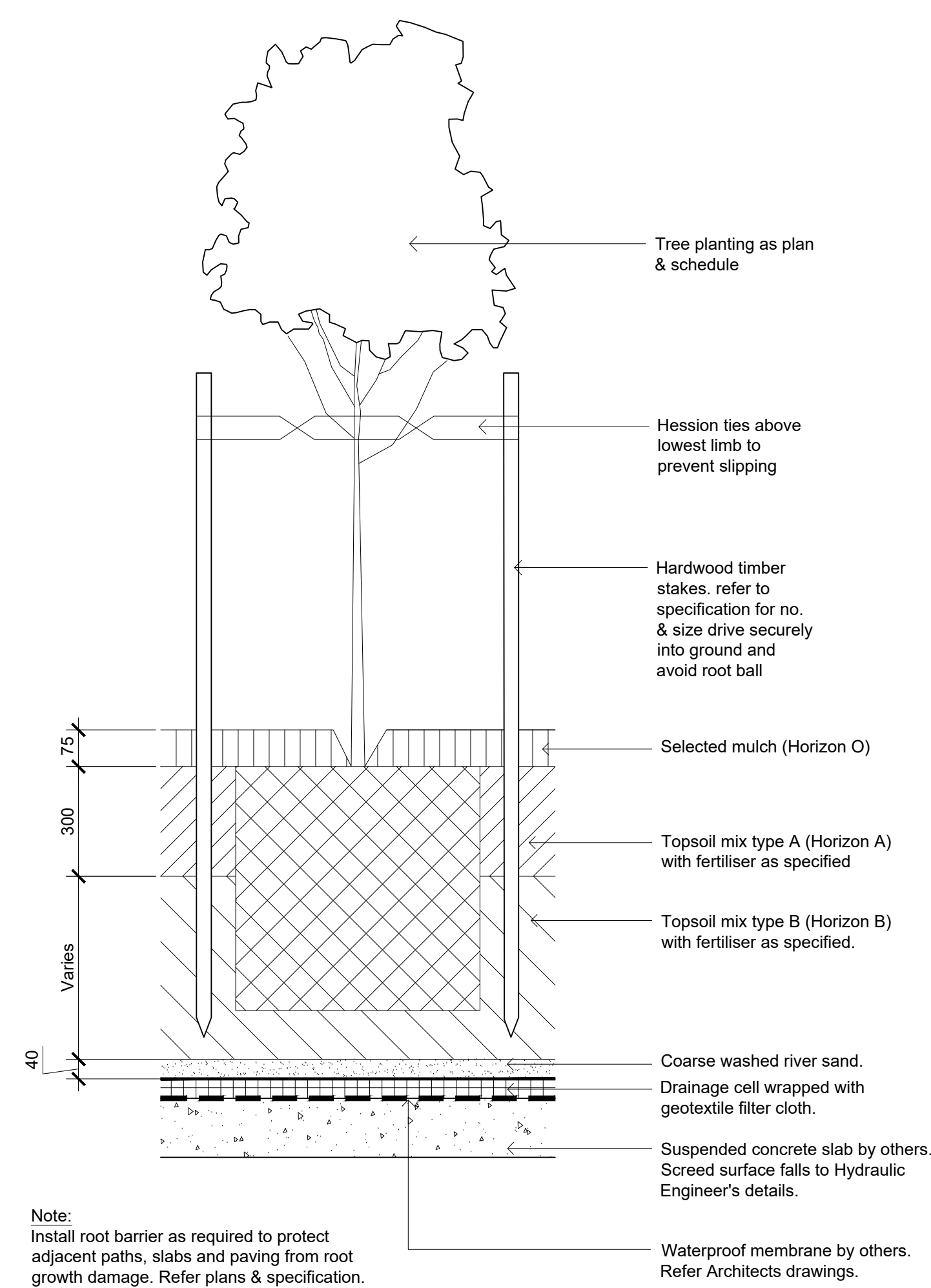
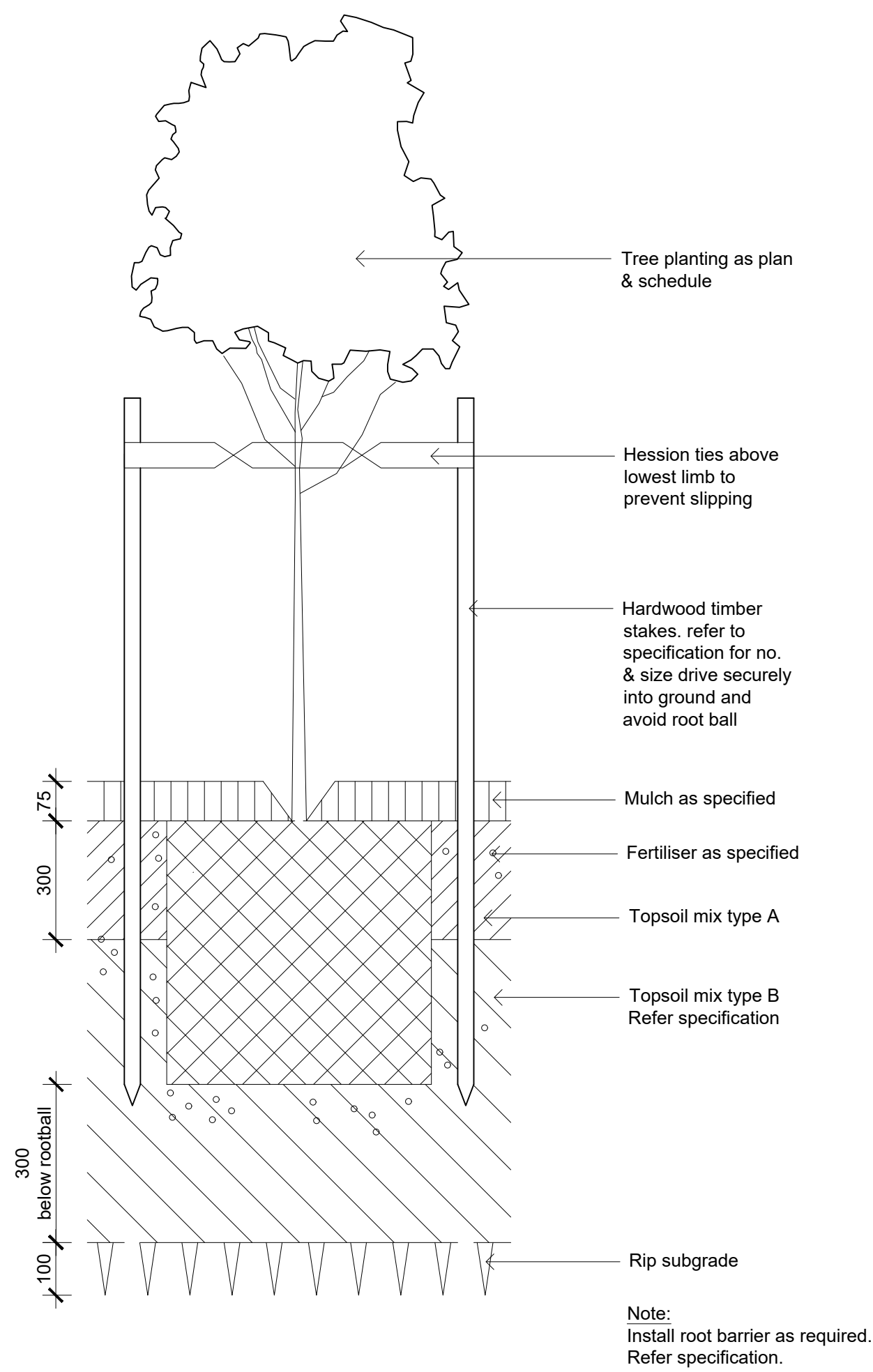
DEVELOPMENT APPLICATION

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Landscape specification notes

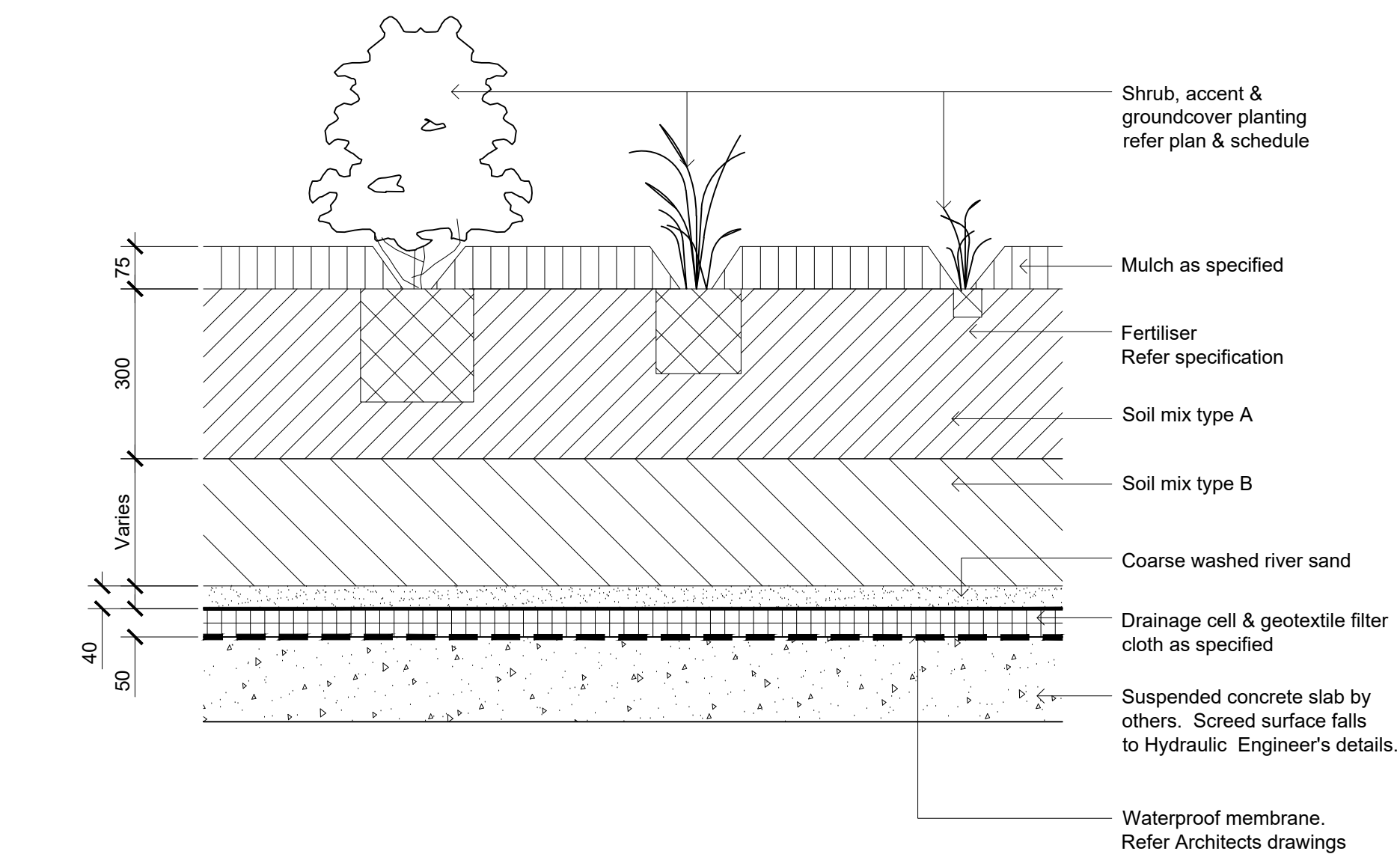
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Job Number: Drawing Number: Issue:

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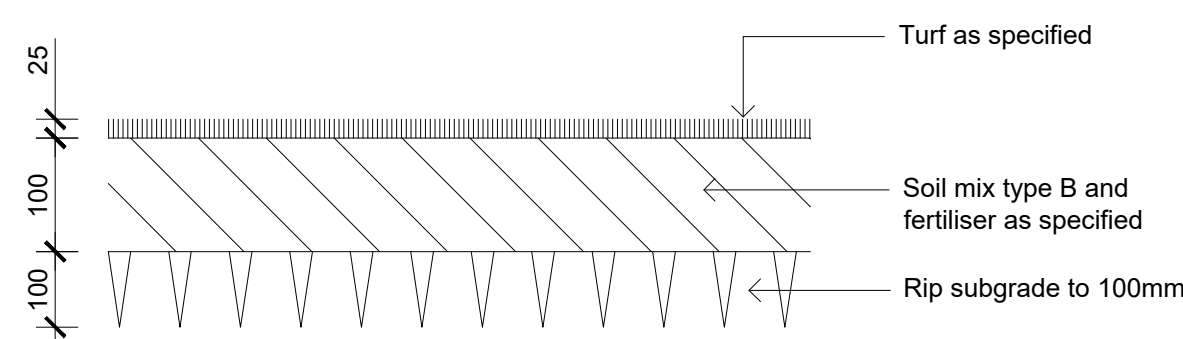


03
501
Detail Shrub Accent & Groundcover Planting on Grade
1:10



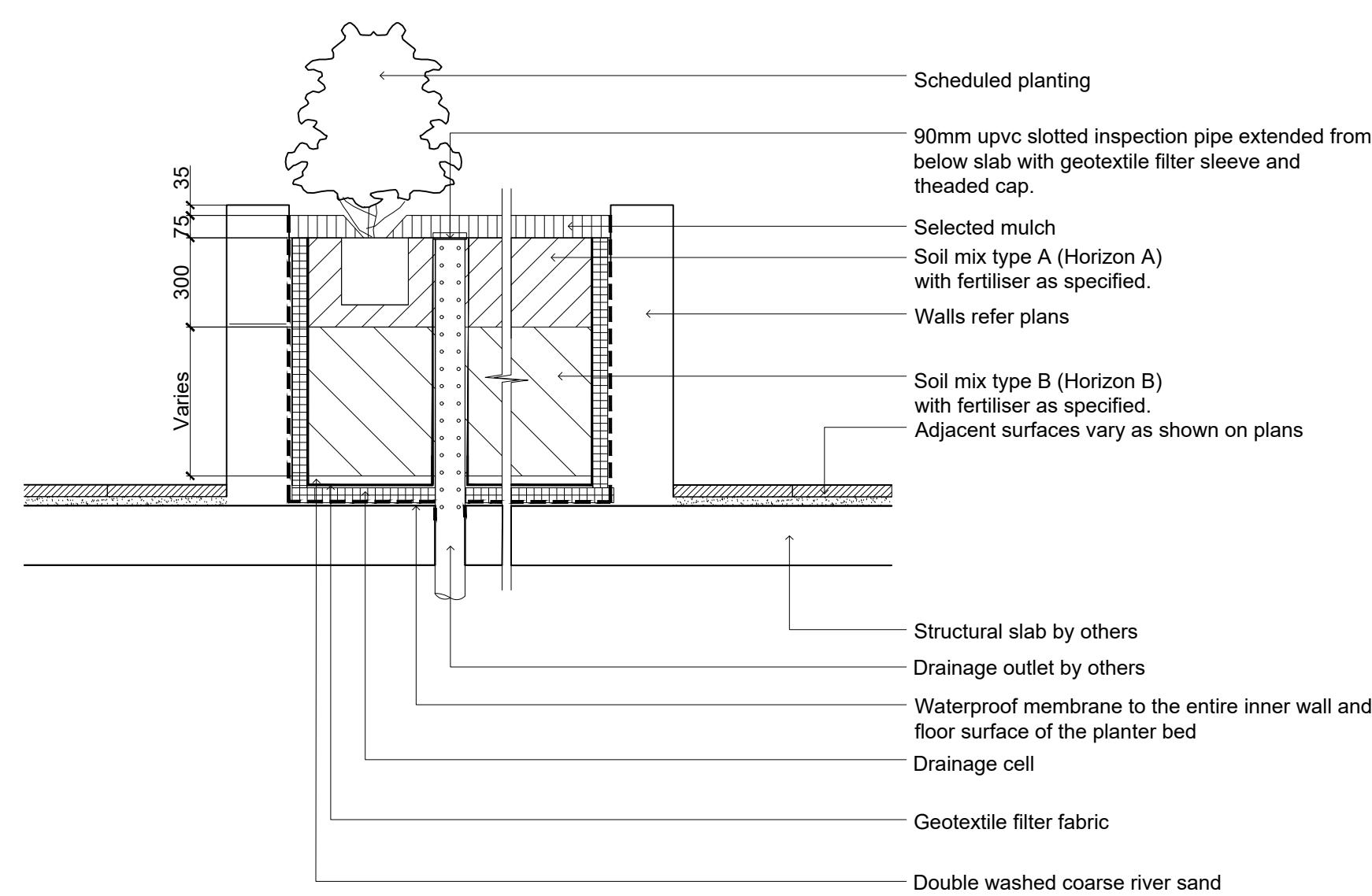
04
501
Detail Shrub Accent & Groundcover Planting on Structure
1:10

01
501
Detail 75-200L Tree Planting on Grade
1:10



05
501
Detail Turf on Even Grade
1:10

02
501
Detail 75-200L Tree Planting on Structure
1:10



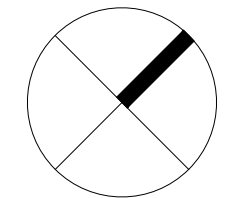
06
501
Section - Typical Raised Planter Bed on Structure
1:20
Inspection riser pipe

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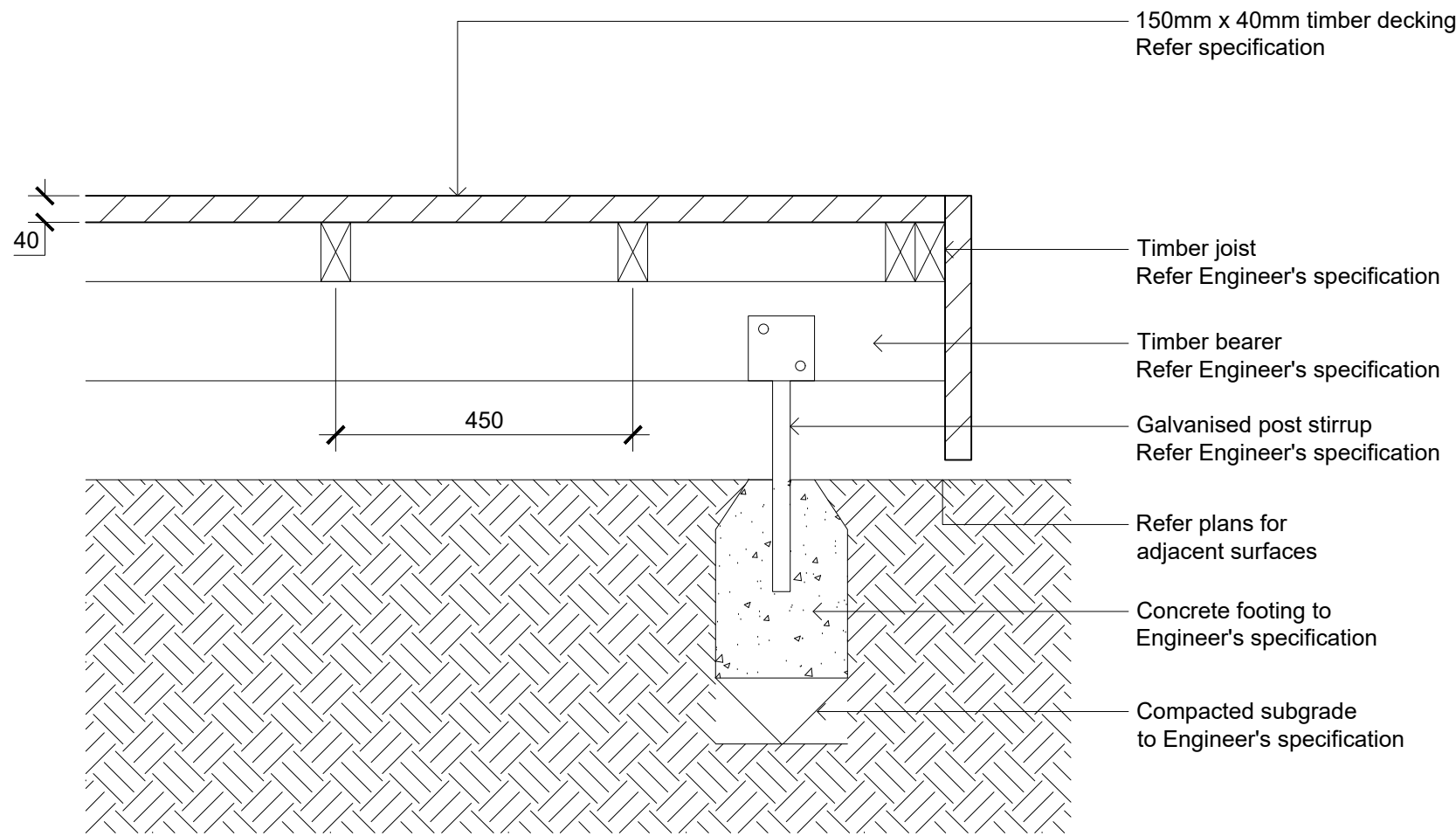
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Landscape Details

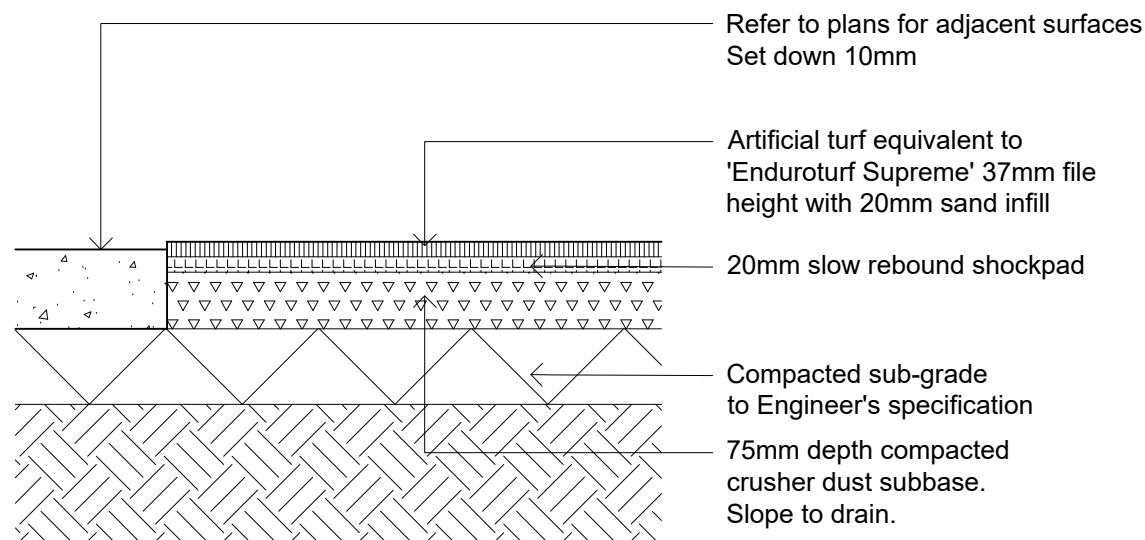
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SS21-4691-1 AH-501 A

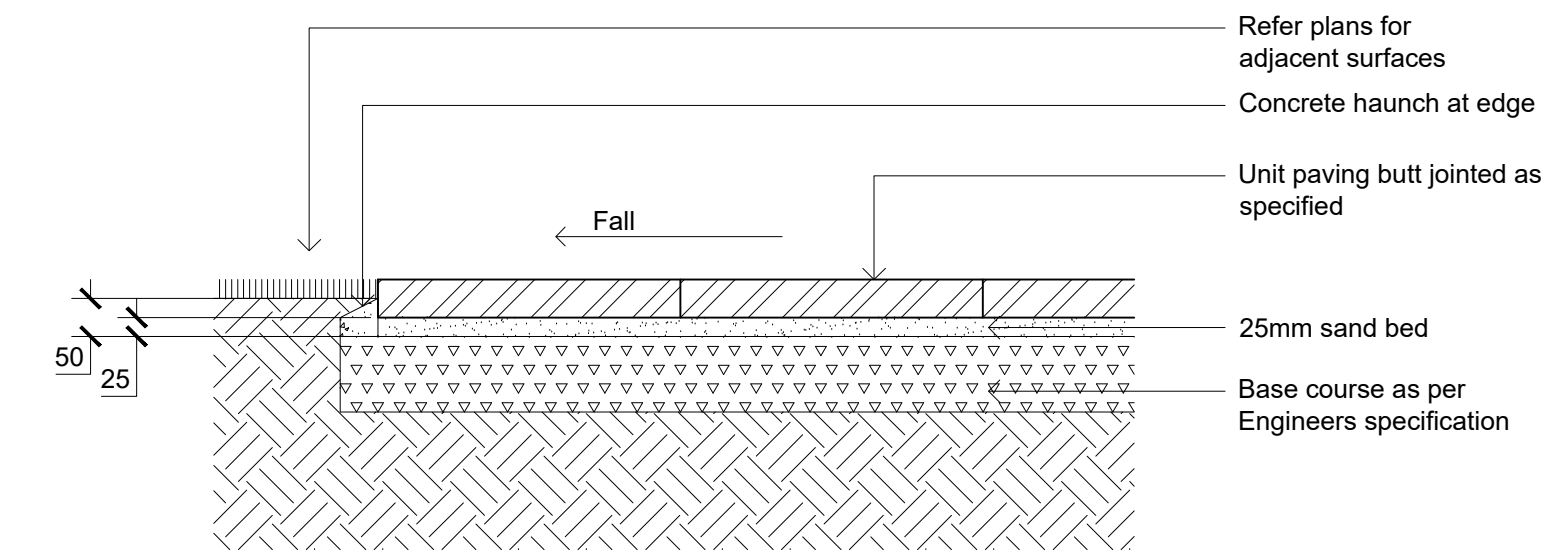
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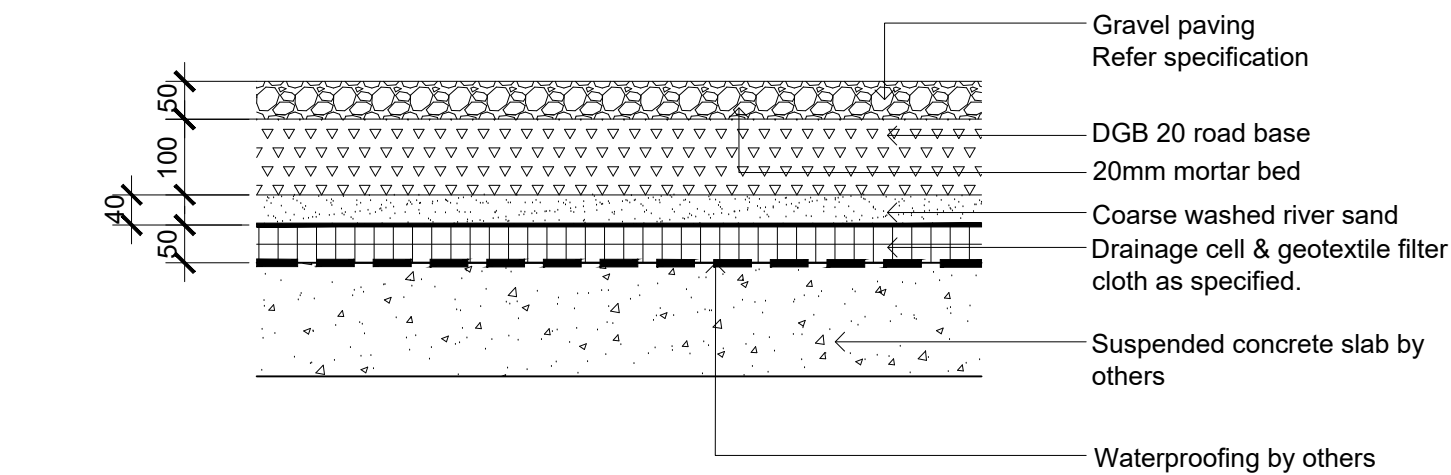
01
502 Raised Timber Deck - Section
1:10



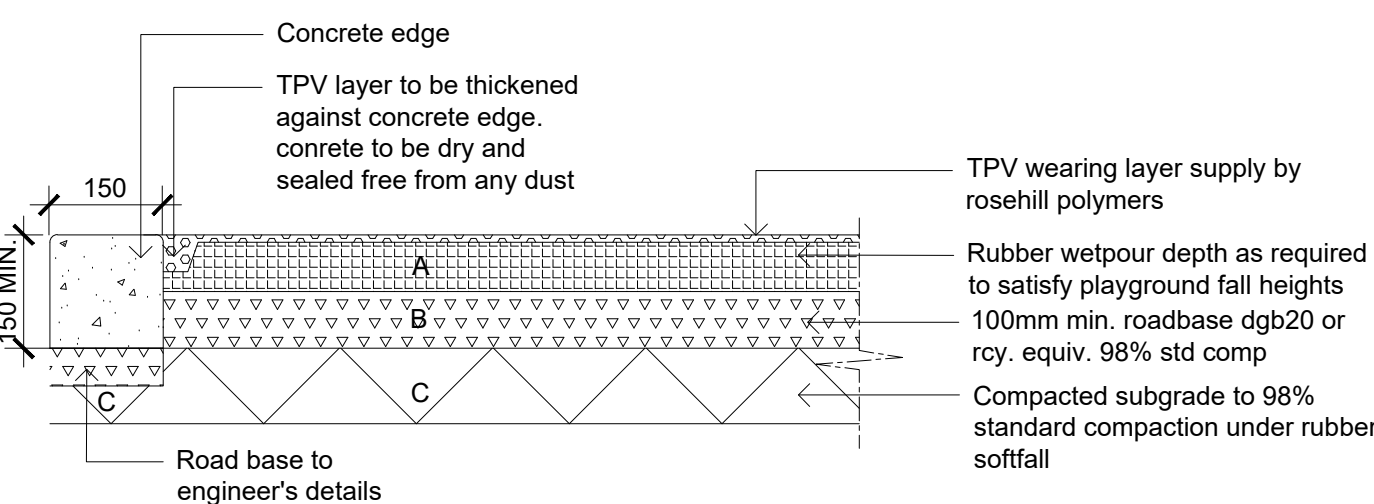
502 Artificial Turf
1:10



04
502 Unit Pavers on Grade
1:10



Gravel Paving on Slab
1:10



Wetpour Rubber
1:10

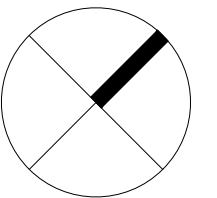
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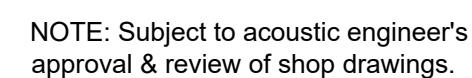
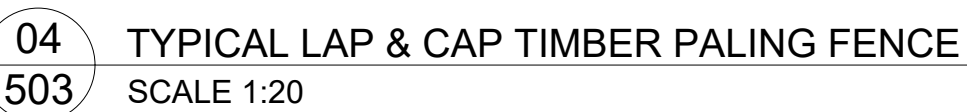
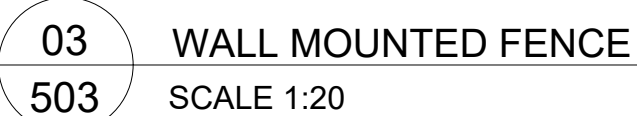


DEVELOPMENT APPLICATION

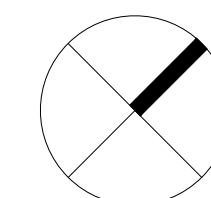
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Landscape Details

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Job Number: Drawing Number: Issue:

SS21-4691-1 **AH-502** **A**



LEGEND



Scale: As Shown

Job Number: SS21-4691-1

Drawing Number: AH-503

Issue: A

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Drawing Name:
Landscape Elevation
West

Scale: 1:150 @ A1
Job Number:

Drawing Number:

Issue:

SS21-4691

AH-601 A

SITE 5

57.2m HEIGHT PLANE TO WEST
FACADE OF TOWER

EAST-WEST
PEDESTRIAN LINK

PREVIOUS 44m HEIGHT PLANE
TO WEST FACADE OF TOWER

SITE 3

SITE BOUNDARY

SITE BOUNDARY

SITE 7

6000
SETBACK

3000
SETBACK

2000
SETBACK

CHILDCARE

PUBLIC
LIFT

PEDESTRIAN LINK
15190

ROOF
117200

LEVEL 17
114100

LEVEL 16
111000

LEVEL 15
107900

LEVEL 14
104800

LEVEL 13
101700

LEVEL 12
98600

LEVEL 11
95500

LEVEL 10
92400

LEVEL 9
89300

LEVEL 8
86200

LEVEL 7
83100

LEVEL 6
80000

LEVEL 5
76900

LEVEL 4
73800

LEVEL 3
70700

LEVEL 2
67600

LEVEL 1
64500

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Issue Revision Description

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Drawing Name:
Landscape Elevation
South

Scale: 1:150 @ A1
Job Number:

Drawing Number:

Issue:

SS21-4691

AH-602 A



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REVISED DA

Drawing Name:
Landscape Elevation
East

Scale: 1:150 @ A1
Job Number:
Drawing Number:
Issue:

SS21-4691 AH-603 A

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Issue	Revision Description	Drawn	Check	Date

LEGEND



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Property Group

Project:
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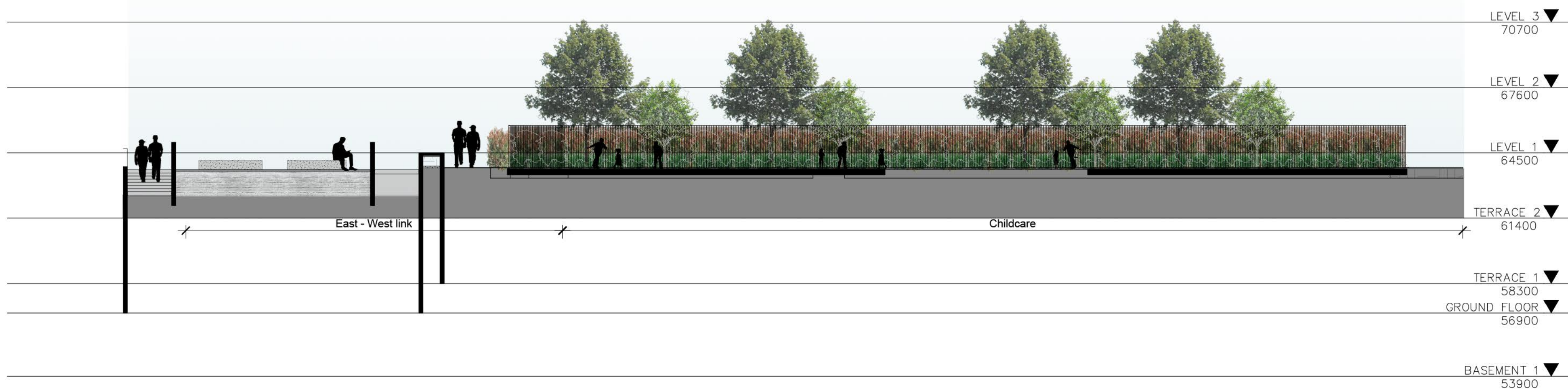
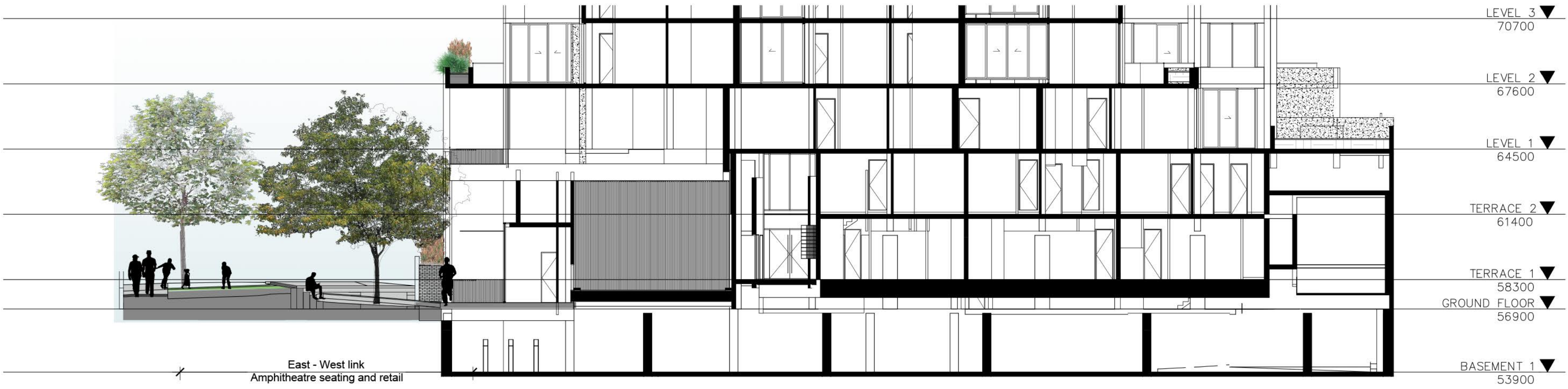
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REVISED DA

Drawing Name:
Landscape Elevation
North
Scale: 1:150 @ A1
Job Number:
Drawing Number:
Issue:

SS21-4691 AH-604 A

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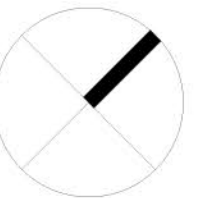


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LEGEND



Client:
HYECORP
Property Group

Project:
13 - 19 Canberra Ave St Leonards

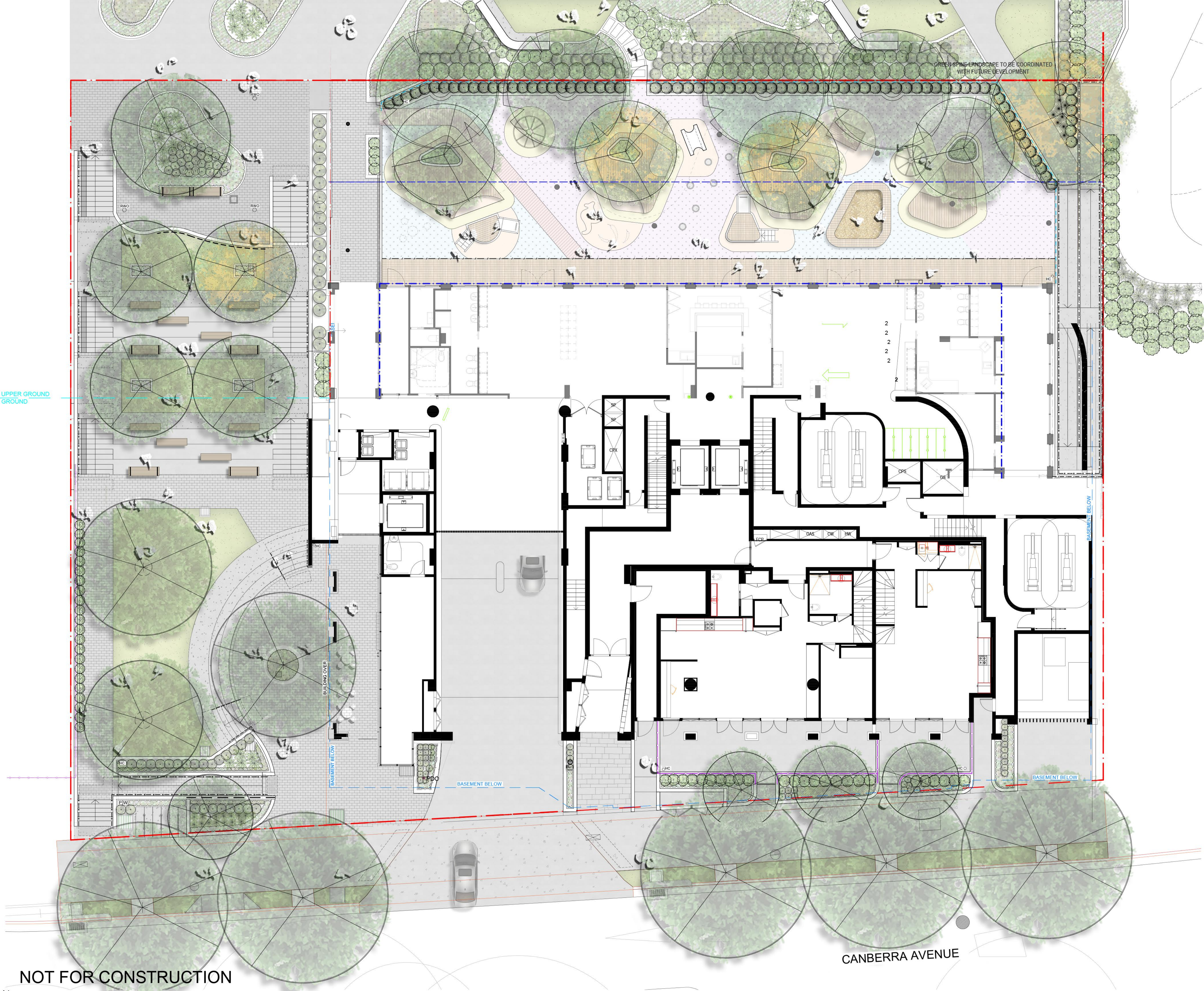
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Landscape Architects

REVISED DA

Drawing Name:
Landscape Elevation
Retail / Terrace / Childcare
Scale: 1:150 @ A1
Job Number:
SS21-4691
Drawing Number:
AH-605
Issue:
D

NOT FOR CONSTRUCTION



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The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

A	For DA Approval	NH	RS	08.04.2024
Issue	Revision Description	Drawn	Check	Date

LEGEND

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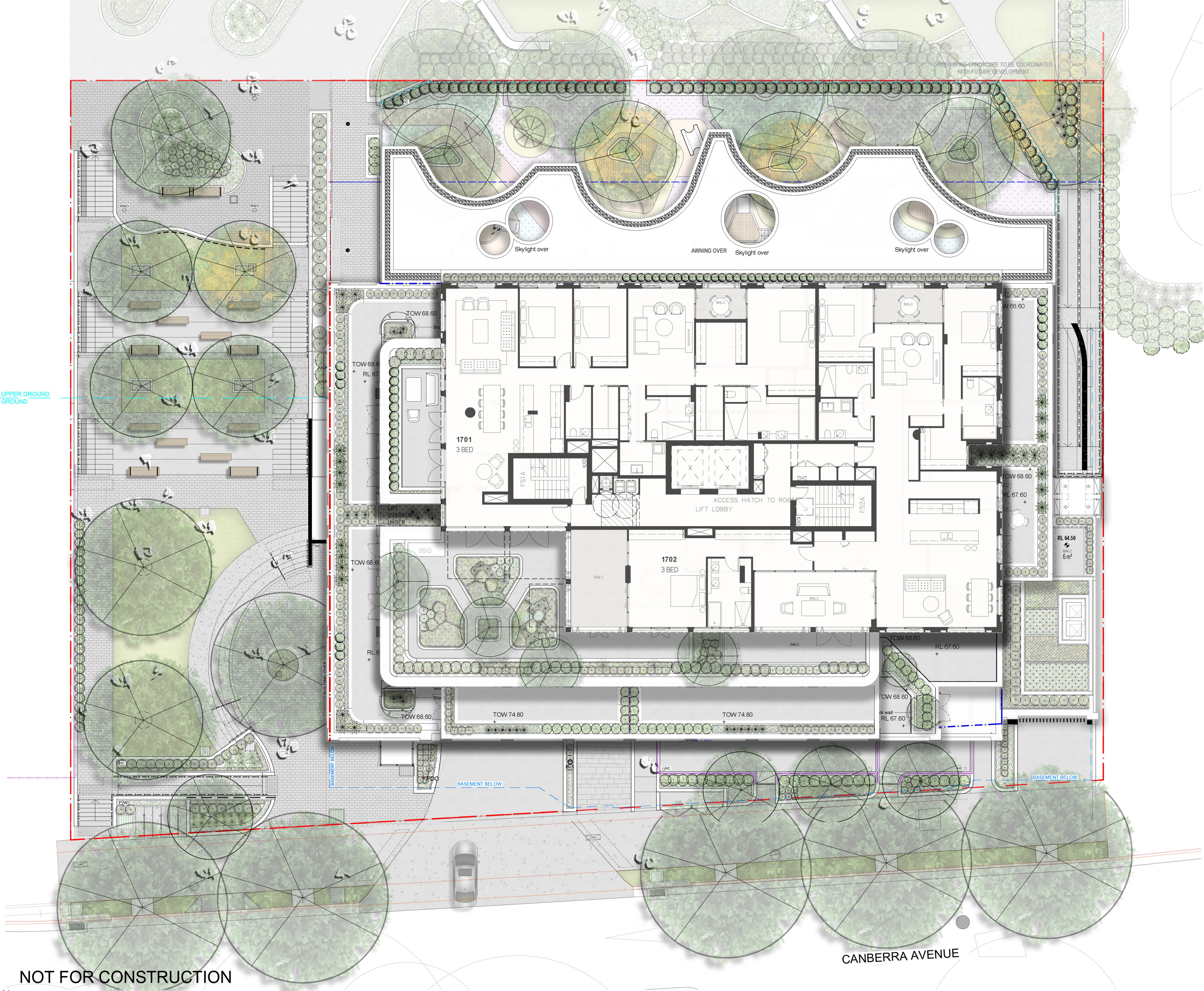
DEVELOPMENT APPLICATION

Drawing Name:
**Landscape ground, Upperground,
and Level 1 Render**

Scale: 1:100 @ A1
Job Number:
Drawing Number:
Issue:

SS21-4691-1 **AH-C100** **A**

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Landscape Architects

DEVELOPMENT APPLICATION

Drawing Name:
**Landscape composite
render**

Scale: 1:100 @ A1
Job Number:
Drawing Number:
Issue:

SS21-4691-1 AH-C101 A



AUDREY
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LEONARDS NSW 2065

HYECORP PROPERTY GROUP

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Project Number: **2000192**
Date: **09.04.2024**
Client: **HYECORP PROPERTY GROUP**

STORMWATER SERVICES DRAWINGS

LIST OF DRAWINGS


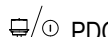




000	STORMWATER - COVER PAGE
001	STORMWATER - LEGEND & GENERAL NOTES
101	STORMWATER SERVICES - BASEMENT 4
102	STORMWATER SERVICES - BASEMENT 3
103	STORMWATER SERVICES - BASEMENT 2
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201	EROSION AND SEDIMENTATION - CONTROL PLAN
202	EROSION & SEDIMENTATION - CONTROL DETAIL
203	STORMWATER SERVICES - MUSIC MODEL
301	STORMWATER SERVICES - TYPICAL DETAILS
302	STORMWATER SERVICES - OSD DETAILS
303	STORMWATER SERVICES - PUMPOUT PIT DETAILS
304	STORMWATER SERVICES - WATER TREATMENT SYSTEM SCHEMATIC
305	STORMWATER SERVICES -KIP STANDARD DETAIL
401	DRAINAGE DETAILS

PROPOSED DEVELOPMENT

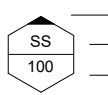
13-19 CANBERRA AVE, ST LEONARDS NSW 2065

STORMWATER SERVICES - DA SUBMISSION 2024







LEGEND

-  RWO
- RAINWATER OUTLET
-  PDO
- PLANTER DRAIN OUTLET
- 
- GRATED INLET PIT
- 
- PUMP CONTROL PANEL
- 
- GRATED DRAIN
- 
- RHS OVERFLOW PIPE

RISER PIPE LEGEND

-  100
- FLOW DIRECTION
- SERVICE
- SERVICE SIZE

PIPE SYSTEM LEGEND

- 
- STORMWATER DRAIN (CAST-IN SLAB)
- 
- STORMWATER DRAIN (UNDER SLAB)
- 
- CHARGED LINE
- 
- PRESSURED LINE
- 
- AG LINE IN OVER-EXCAVATED AREA
- 
- RAIN WATER TANK OVERFLOW

ABBREVIATIONS

- CL
- CHARGED LINE
- DIA
- DIAMETER
- DP
- DOWN PIPE
- FL
- FLOOR LEVEL
- FW
- FLOOR WASTE
- FFL
- FINISHED FLOOR LEVEL
- FDO
- FLOOR DRAIN OUTLET
- GSIP
- GRATED SURFACE INLET PIT
- GL
- GROUND LEVEL
- HL
- HIGH LEVEL
- IC
- INSPECTION CHAMBER
- IL
- INVERT LEVEL
- IOS
- INSPECTION OPENING TO SURFACE
- IMH
- MANHOLE
- OIF
- OVERFLOW
- OSD
- ON-SITE STORMWATER DETENTION
- PDO
- PLANT DRAIN OUTLET
- RHS
- RECTANGULAR HOLLOW SECTION
- RWO
- RAINWATER OUTLET
- RL
- RELATIVE LEVEL
- RW
- RAIN WATER
- STW
- STORM WATER
- SP
- SURFACE/STORM WATER PIT

GENERAL NOTES

1. ALL WORKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TECHNICAL SPECIFICATION. THE CONTRACTOR SHALL PREPARE A DILAPIDATION REPORT FOR THE EXISTING INFRASTRUCTURE WITHIN THE ROAD RESERVE, INCLUDING BUT NOT LIMITED TO KERBS, GUTTERS, FOOTPATHS, VEHICULAR CROSSINGS, STREET SIGNS, SERVICE FITTING COVERS, ETC.
2. THE CONTRACTOR SHALL REVIEW, BE AWARE AND AT ALL TIMES COMPLY WITH THE SPECIFIC REQUIREMENTS FOR THIS DEVELOPMENT AS SET OUT IN THE DEVELOPMENT APPROVAL FOR THE PROJECT.
3. ANY CHANGES MADE BY THE CONTRACTOR TO ANY LEVEL, DIMENSION, LOCATION, POSITION, ALIGNMENT ETC, OF ANY OF THE WORKS SHOWN ON THE DRAWINGS WITHOUT THE WRITTEN CONSENT OF TORINEX CONSULTING ENGINEERS AND/OR THE PRINCIPAL CERTIFYING AUTHORITY IS DONE SO AT THE CONTRACTOR'S OWN RISK.
4. THE CONTRACTOR SHALL ALLOW TO LIAISE WITH AND PROVIDE SUFFICIENT NOTICE TO COUNCIL AND TO THE PRINCIPAL CERTIFYING AUTHORITY TO ENSURE THAT ALL WORKS ARE INSPECTED TO ENABLE COMPLIANCE CERTIFICATES TO BE ISSUED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONSTRUCTOR SHALL LIAISE WITH THE PRINCIPAL CERTIFYING AUTHORITY PRIOR TO ANY CONSTRUCTION WORKS COMMENCING AND PREPARE AN INSPECTION AND TEST PLAN WITH A MUTUALLY AGREED WITNESS AND HOLD POINTS FOR THE CONSTRUCTION WORKS.
5. IF THE PRINCIPAL CERTIFYING AUTHORITY IS NOT COUNCIL, THEN THE CONTRACTOR MUST CONTACT COUNCIL'S WORKS DIVISION TO ENABLE THEIR INSPECTION OF ALL WORKS (INCLUDING EROSION AND SEDIMENT CONTROL MEASURES) WITHIN THE ROAD RESERVE AREA.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL ACCESS TO THE SITE. THE ACCESS SHALL BE ALL WEATHER SAFE ACCESS TO THE CONTRACTOR'S SITE FACILITIES AT ALL TIMES FOR THE DURATION OF THE CONTRACT.
7. A TEMPORARY HOARDING OR FENCE OF MINIMUM 1.5m HIGH IS TO BE PROVIDED AROUND THE SITE TO PROTECT THE PUBLIC PRIOR TO COMMENCEMENT OF WORKS. HOARDING OR FENCES ARE TO BE STRUCTURALLY ADEQUATE. THE CONTRACTOR SHALL OBTAIN AN APPROVAL FROM COUNCIL PRIOR TO ERECTING THE HOARDING OR FENCE.
8. ALL NEW WORKS SHALL MAKE A SMOOTH CONNECTION WITH ANY FORMATIONS, STRUCTURES, ETC.
9. ALL ALTERATIONS AND/OR ADDITIONS TO EXISTING WORK, THE CONTRACTOR SHALL VERIFY THE DIMENSIONS OF THE EXISTING WORK BEFORE PROCEEDING AND NOTIFY THE SUPERINTENDENT OF DISCREPANCIES.
10. THE CONTRACTOR SHALL USE MANUFACTURED ITEMS IN THE WORK ONLY IN ACCORDANCE WITH THE CURRENT PUBLISHED RECOMMENDATIONS.
11. THE WORKS SHALL BE CONSTRUCTED IN SUCH A MANNER THAT THERE IS MINIMUM DISTURBANCE TO EXISTING TREES AND VEGETATION.

12. THE PUBLIC FOOTWAY AND ROADWAY FRONTING THE SITE SHALL BE MAINTAINED IN A SAFE AND UNOBSTRUCTED MANNER AT ALL TIMES DURING THE CONSTRUCTION WORKS.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING TO THE SATISFACTION OF THE ASSET OWNER, ANY DAMAGE CAUSED TO ANY EXISTING INFRASTRUCTURE WITHIN THE ROAD RESERVE, INCLUDING BUT NOT LIMITED TO KERBS, GUTTERS, FOOTPATHS, VEHICULAR CROSSINGS, STREET SIGNS, SERVICE FITTING COVERS, ETC.
14. THE SITE SHALL BE KEPT IN A TIDY CONDITION AT ALL TIMES. LITTER RUBBISH AND BUILDING RUBBLE SHALL BE PLACED IN CONTAINERS OR BINS AND REGULARLY REMOVED FROM SITE AS REQUIRED.

CONCRETE NOTES

1. ALL WORKMANSHIP, MATERIALS AND TESTING FOR CONCRETE WORKS SHALL COMPLY WITH THE REQUIREMENTS OF AS 3600.
2. ALL WORKMANSHIP AND MATERIALS FOR FORMWORK SHALL COMPLY WITH THE REQUIREMENTS OF AS3610.
3. THE CONSTRUCTOR SHALL ENSURE THAT ALL REINFORCEMENT IS SECURELY TIED AND SUPPORTED IN IT'S CORRECT POSITION AND WITHIN ACCEPT TABLE TOLERANCES SO AS NOT TO BE DISPLACED DURING CONCRETE POURING.
4. PROVIDE CONCRETE WITH A MAXIMUM SLUMP OF 80, TYPE SL CEMENT, MAXIMUM AGGREGATE SIZE 20, APPROVED ADMIXTURES AND STRENGTH GRADE AS FOLLOWS:

ELEMENT	EXPOSURE CLASSIFICATION	STRENGTH (MPa)
PAVEMENT	A2	32
KERB (ALL TYPES)	A2	25
FOOTPATH	A2	25
RETAINING WALL FOOTING	A1/B1	20

PROJECT CONTROL TESTING SHALL BE CARRIED OUT IN ACCORDANCE WITH AS3600.

5. PROVIDE LAPS ONLY AT LOCATIONS SHOWN AND OF DIMENSIONS AS FOLLOWS UNLESS DETAILED OTHERWISE OR APPROVED IN WRITING BY THE ENGINEER.

BAR SIZE	LAP
N12	500
N16	750
N20	1000

6. OVERLAP FIRST AND SECOND CROSS WIRES OF EACH STREET OF FABRIC BY 25 AT LAPS.
7. DO NOT WELD REINFORCEMENT UNLESS SHOWN OR APPROVED BY THE ENGINEER.
8. TIE ALL UNSUPPORTED BARS TO N12.350.B OR N12.450.T CROSSRODS, LAPPED 450 WHERE REQUIRED.
9. PROP, CURE AND STRIP IN ACCORDANCE WITH AS3600, AS3610 AND THE SPECIFICATION.
10. CONCRETE SAWN JOINTS MUST BE DONE WITH 8 HOURS OF CONCRETE POUR.
11. JOINT SEALANT MUST BE SILICONE SEALANT FOR CASTING IN -SITU AS SPECIFIED ON DRAWINGS.

SETTING OUT NOTES

1. THE CONTRACTOR SHALL USE A SUITABLY QUALIFIED SURVEYOR TO SET OUT ALL WORKS. THE SURVEYOR SHALL ISSUE A CERTIFICATE TO THE PRINCIPAL CERTIFYING AUTHORITY CERTIFYING THAT THE WORKS HAVE BEEN SET OUT IN ACCORDANCE WITH THE APPROVED DRAWINGS PRIOR TO THE WORKS BEING CONSTRUCTED.

SAFETY IN DESIGN

- THERE ARE INHERENT RISKS WITH CONSTRUCTING, MAINTAINING, OPERATING, DEMOLISHING, DISMANTLING AND DISPOSING FOR THE DESIGN THAT ARE TYPICAL OF SIMILAR DESIGNS. AS FAR AS IS REASONABLY PRACTICAL RISKS HAVE BEEN ELIMINATED OR MINIMIZED THROUGH THE DESIGN PROCESS. HAZARD CONTROLS MUST STILL BE IMPLEMENTED BY THE CONTRACTOR, OWNER OR OPERATOR TO ENSURE THE SAFETY OF WORKERS.

EXISTING IN-GROUND SERVICES

- REFER TO SERVICE LOCATION PLANS, PROVIDED AS A SEPARATE DOCUMENT (i.e. NOT PART OF THIS DRAWING SET).

ENVIRONMENTAL CONTROL NOTES

EROSION AND SEDIMENT CONTROL

1. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONTROL OF EROSION AND SEDIMENTATION TO THE SATISFACTION OF COUNCIL, THE RELEVANT STATE AUTHORITIES AND THE PRINCIPAL CERTIFYING AUTHORITY. TO THIS END, THE EROSION AND SEDIMENTATION CONTROLS SHOWN ON THE DRAWINGS SHALL ONLY BE USED AS A GUIDE BY THE CONTRACTOR AND SHALL REPRESENT THE MINIMUM REQUIREMENT ONLY.
2. NO CONSTRUCTION WORKS ARE TO COMMENCE ON SITE UNTIL ALL EROSION AND SEDIMENT CONTROL MEASURES ARE IN PLACE AND HAVE BEEN INSPECTED AND APPROVED BY THE COUNCIL AND/OR PRINCIPAL CERTIFYING AUTHORITY.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REGULARLY INSPECTED, IN PARTICULAR AFTER STORMS, AND REPAIRED OR MAINTAINED AS REQUIRED TO ENSURE THE MEASURES CORRECT AND EFFICIENT FUNCTION THROUGHOUT THE DURATION OF THE WORKS UNTIL SUCH TIME AS THE COUNCIL AND/ OR PRINCIPAL CERTIFYING AUTHORITY AUTHORIZES THE REMOVAL OF SUCH MEASURES.
4. ALL STOCKPILES SHALL BE CLEAR OF ALL TREES AND DRAINAGE LINES (INCLUDING OVERLAND FLOW PATHS) AND PROTECTED FROM EROSION.
5. IN THE CASE OF THE TEMPORARY CONSTRUCTION EXIT, THE CONTRACTOR SHALL UNDERTAKE WEEKLY SURFACE CLEANING BY DRAG BROOM OR EQUIVALENT, TO REMOVE ALL BUILD UP OF FOREIGN MATERIAL TO THE SATISFACTION OF THE SUPERINTENDENT.

TRAFFIC CONTROLS

1. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONTROL OF TRAFFICS INCLUDING VEHICLES AND PEDESTRIANS TO THE SATISFACTION OF COUNCIL, THE RELEVANT STATE AUTHORITIES AND THE PRINCIPAL CERTIFYING AUTHORITY.
2. THE CONTRACTOR IS TO PREPARE A TRAFFIC MANAGEMENT PLAN TO THE REQUIREMENTS OF THE RMS - TRAFFIC CONTROL AT WORK SITE, AS1742 - AUSTRALIAN STANDARD MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND LOCAL COUNCIL STANDARDS.

OTHER ENVIRONMENTAL CONTROLS

1. OTHER ENVIRONMENTAL CONTROLS LIKE NOISE, DUST, VIBRATION, FLORA & FAUNA, FIRE , HAZMAT, AND CONTAMINATIONS MUST BE CONTROLLED TO THE REQUIREMENT OF THE COUNCIL AND THE RELEVANT STATE AUTHORITIES.

STORMWATER NOTES

1. STORMWATER DESIGN CRITERIA:
 - MINOR STORM ARI: 20 YEARS
 - MAJOR STORM ARI: 100 YEARS
2. IFD DATA LOCALITY: ST LEONARDS/LANE COVE COUNCIL
3. PIPES DN375 AND LARGER TO BE STEEL REINFORCED CONCRETE PIPES CLASS '2' APPROVED SPIGOT AND SOCKET WITH RUBBER RING JOINTS U.N.O.
4. PIPES DN300 AND SMALLER SHALL BE GRADE SH (SEWER GRADE) uPVC WITH RUBBER RING JOINTS.
5. EQUIVALENT STRENGTH FIBRE REINFORCED CONCRETE PIPES MAY BE USED UP TO DN450.
6. PIPES FOR SUB-SOIL DRAINS SHALL BE SLOTTED 100MM DIAMETER CLASS 1000 WRAPPED IN GEOFABRIC, U.O.N, COMPLYING WITH THE REQUIREMENT OF AS 2439.
7. PRECAST PITS, WHERE ALLOWED, AND THE IN-SITU BASE SHALL COMPLY WITH THE REQUIREMENT OF THE MANUFACTURER.
8. ALL PITS/TANKS DEEPER THAN 1200mm TO HAVE STEP IRONS.
9. ALL PITS SHOULD HAVE COVERS/LIDS/GRATES APPROPRIATE TO VEHICLE LOADING.
10. ALL BALCONIES/ROOF AREAS TO HAVE 150X75 OVERFLOW SPOUTS, 50mm BELOW INTERIOR FFL, UNLESS NOTIFIED BY THE ARCHITECT.
11. BALCONY OVERFLOW SPOUTS TO BE AT LEAST 2.4m APART.
12. GRATES 900 DEEP OR GREATER OR 600x600 OR GREATER TO BE LOCKABLE AND HINGED.
13. PITS TO HAVE APPROPRIATE BENCHING OR AS PER COUNCIL REQUIREMENTS.
14. ALL MILD STEEL FIXTURES INCLUDING GRATES, FRAMES, STEP IRONS, LADDERS, ETC., SHALL BE HOT DIP GALVANISED. GALVANIZING SHALL COMPLY WITH THE REQUIREMENTS OF AS 1214 OR AS 1650, AS APPROPRIATE.
15. GEOFABRIC FILTER SHALL BE PERMEABLE, NON -WOVEN FABRIC MANUFACTURED FROM A POLYMER SUCH AS POLYPROPYLENE OR POLYESTER OF MASS NOT LESS THAN 135g/m²
16. THE MINIMUM TRENCH WIDTHS SHALL BE AS FOLLOWS:
 - CONCRETE AND FRC PIPES: EXTERNAL PIPE DIAMETER PLUS 400 mm.
 - uPVC PIPE: EXTERNAL DIAMETER OF PIPE PLUS 200 mm.
 - SUBSOIL PIPE: 250 mm.
17. ALL PIPES SHALL BE PLACED CENTRALLY WITHIN THE TRENCH WITH EQUAL CLEARANCE EACH SIDE.
18. PIPE BEDDING MATERIAL SHALL BE CLEAN COARSE RIVER SAND WITH DEPTH AS FOLLOWS:
 - CONCRETE AND FRC PIPES: 100 mm (175 mm IN ROCK)
 - uPVC PIPE: 75 mm (100 mm IN ROCK)
 - SUBSOIL DRAINS: 50 mm
19. ALL PIPES SHALL BE BACKFILLED WITH GRANULAR MATERIAL SUCH AS QUARRY FINES OR COARSE RIVER SAND TO A MINIMUM OF 150 mm ABOVE THE PIPE. THE GRANULAR MATERIAL SHALL BE PLACED IN 150 mm THICK MAXIMUM LAYERS AND COMPACTED TO ACHIEVE A DENSITY INDEX (ID) OF 70%. FREQUENCIES OF COMPACTION TESTS FOR TRENCHES SHALL BE 1 TEST PER 2 LAYERS PER 40 LINEAR METRE.
20. BACKFILL THE REMAINDER OF THE TRENCH ABOVE THE SAND TO SUBGRADE LEVEL WITH TRENCH MATERIAL. PLACE AND COMPACT MATERIALS IN LAYERS NOT EXCEEDING 150MM LOOSE THICKNESS. MATERIALS LOWER THAN 500MM BELOW SUBGRADE LEVEL SHALL BE COMPACTED TO AT LEAST 95% OF STANDARD MAXIMUM DRY DENSITY. THE TOP 500MM BELOW PAVEMENT SUBGRADE LEVELS SHALL BE COMPACTED TO AT LEAST 100% STANDARD MAXIMUM DRY DENSITY.
21. FILTER MATERIAL FOR SUBSOIL SHALL BE COARSE SAND OR CRUSHED STONE COMPLYING WITH ONE OF THE GRADING IN THE TABLE BELOW. WHERE NOTED ON THE DRAWINGS THE 7mm CRUSHED ROCK FILTER MATERIAL SHALL BE ENCLOSED WITHIN FILTER FABRIC SHEET AS SPECIFIED. FILTER MATERIAL SHALL BE PLACED IN 250mm LAYERS AND COMPACTED TO DENSITY INDEX (ID) OF 60%.
22. UNLESS OTHERWISE DETAILED OR PERMITTED, THE MINIMUM GRADE OF ALL PIPE WORKS SHALL BE 1.0%.

AS SIEVE SIZE (mm)	SAND	7mm ROCK
9.5	100	100
6.7		75-100
4.75	90-100	20-55
2.36	75-100	0-15
1.18	50-90	
0.6	20-60	
0.3	10-30	
0.15	2-10	
0.075	0-3	0-2

THIS IS A STANDARD LEGEND.
ALL SYMBOLS MAY NOT NECESSARILY
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HYECORP

ARCHITECT

HYECORP

REV

DATE

REVISION DETAILS

LAST EDITED

1

09.04.2024

ISSUED FOR APPROVAL

MS

SCALE

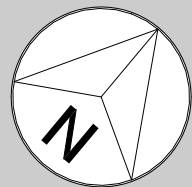
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SIZE

A1

FOR APPROVAL

NORTH POINT



PROJECT

PROPOSED DEVELOPMENT AT
13-19 CANBERRA AVE, ST LEONARDS NSW 2065

DRG. TITLE

STORMWATER - LEGEND & GENERAL NOTES

DRAWING No.

PROJECT No.

2000192

DISC.

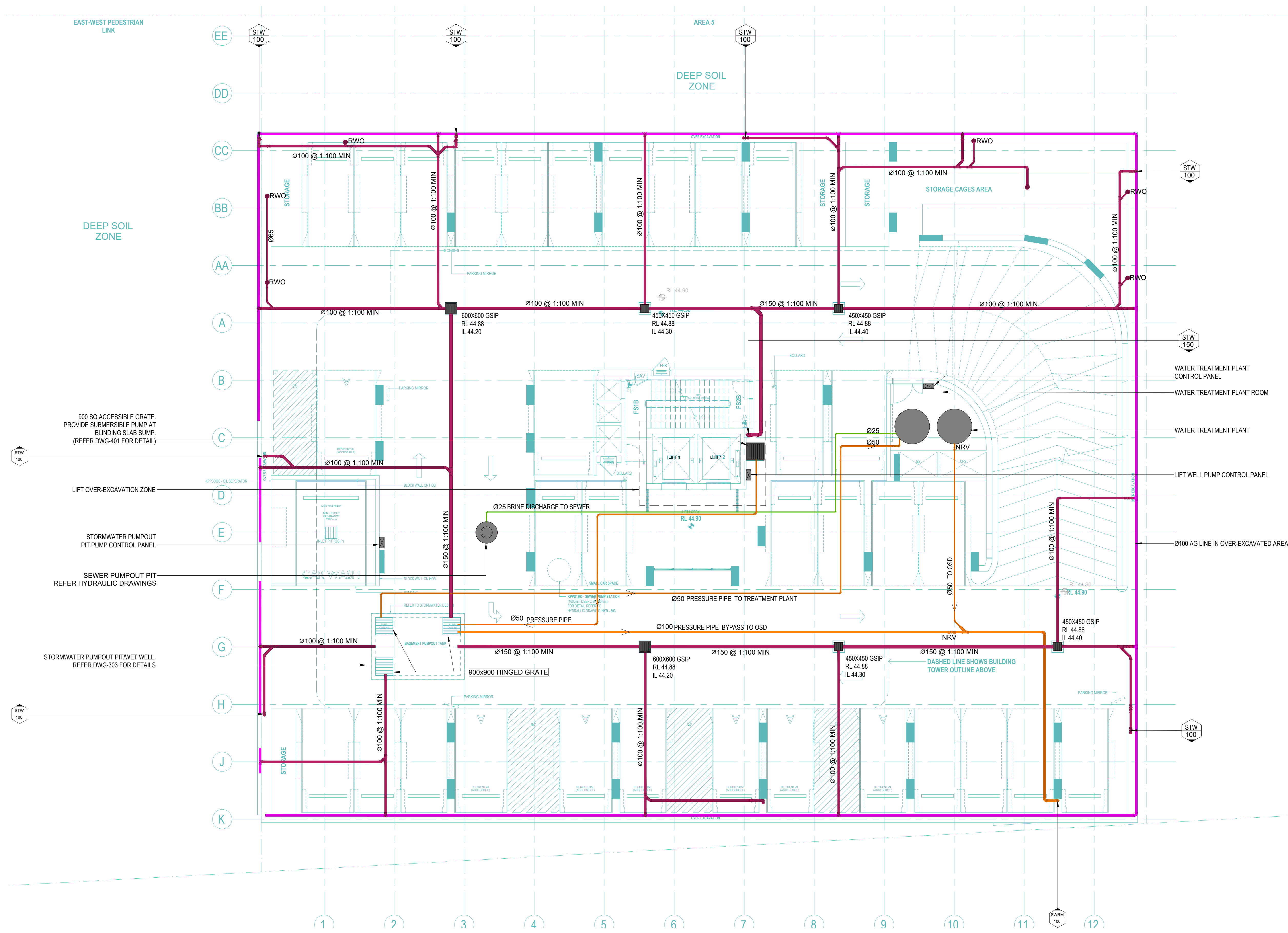
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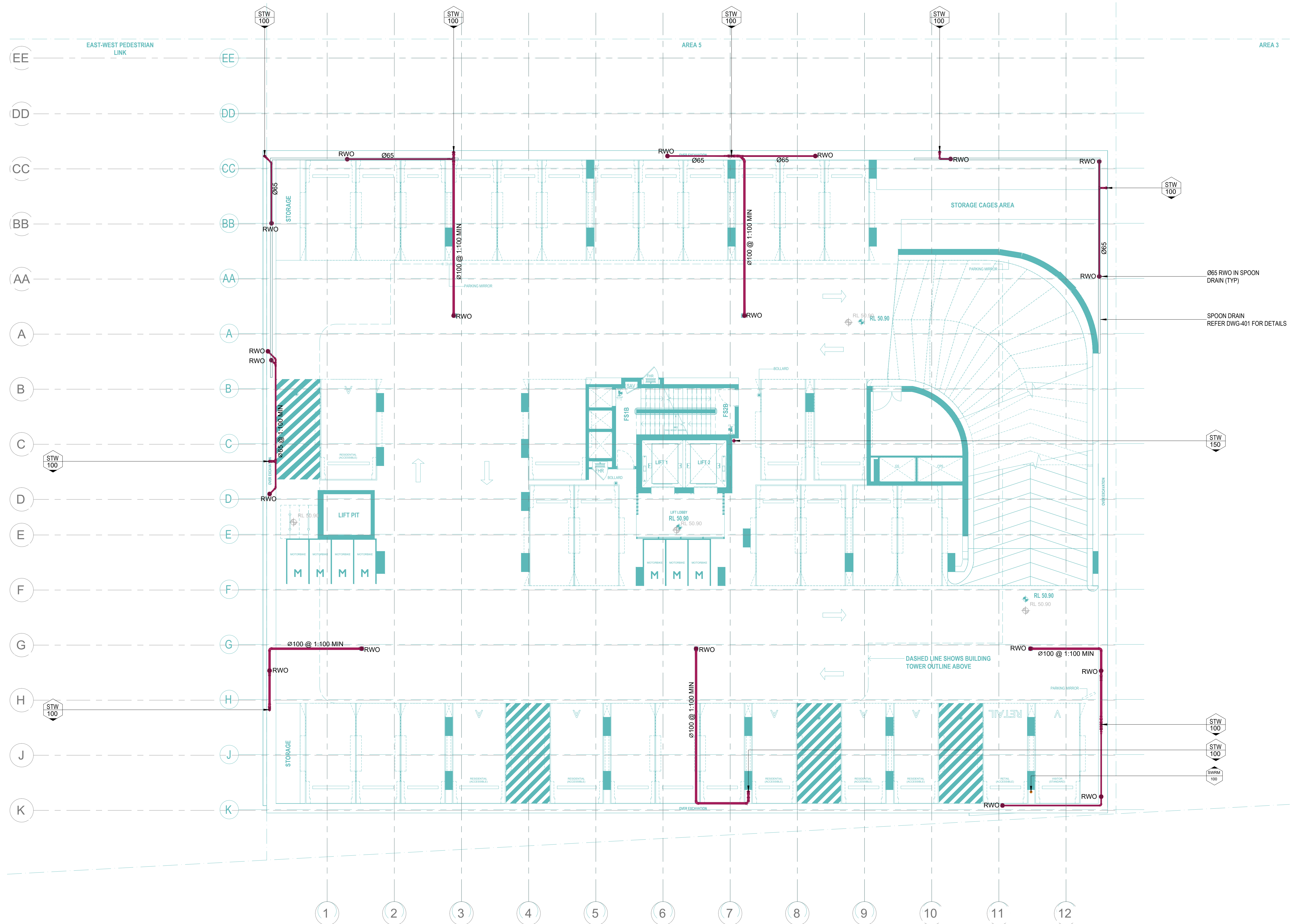
REV	DATE	REVISION DETAILS	LAST EDITED
1	09.04.2023	ISSUED FOR DA APPROVAL	MS

SCALE	SIZE
1:100	A1
DRAWN	SW
DESIGNED	MS
APPROVED BY	JF

FOR APPROVAL

NORTH POINT

PROJECT	PROPOSED DEVELOPMENT AT 13-19 CANBERRA AVE, ST LEONARDS NSW 2065
DRG. TITLE	STORMWATER SERVICES - BASEMENT 4
DRAWING No.	PROJECT No. 2000192
DISC.	STW
NUMBER	101
REV	1



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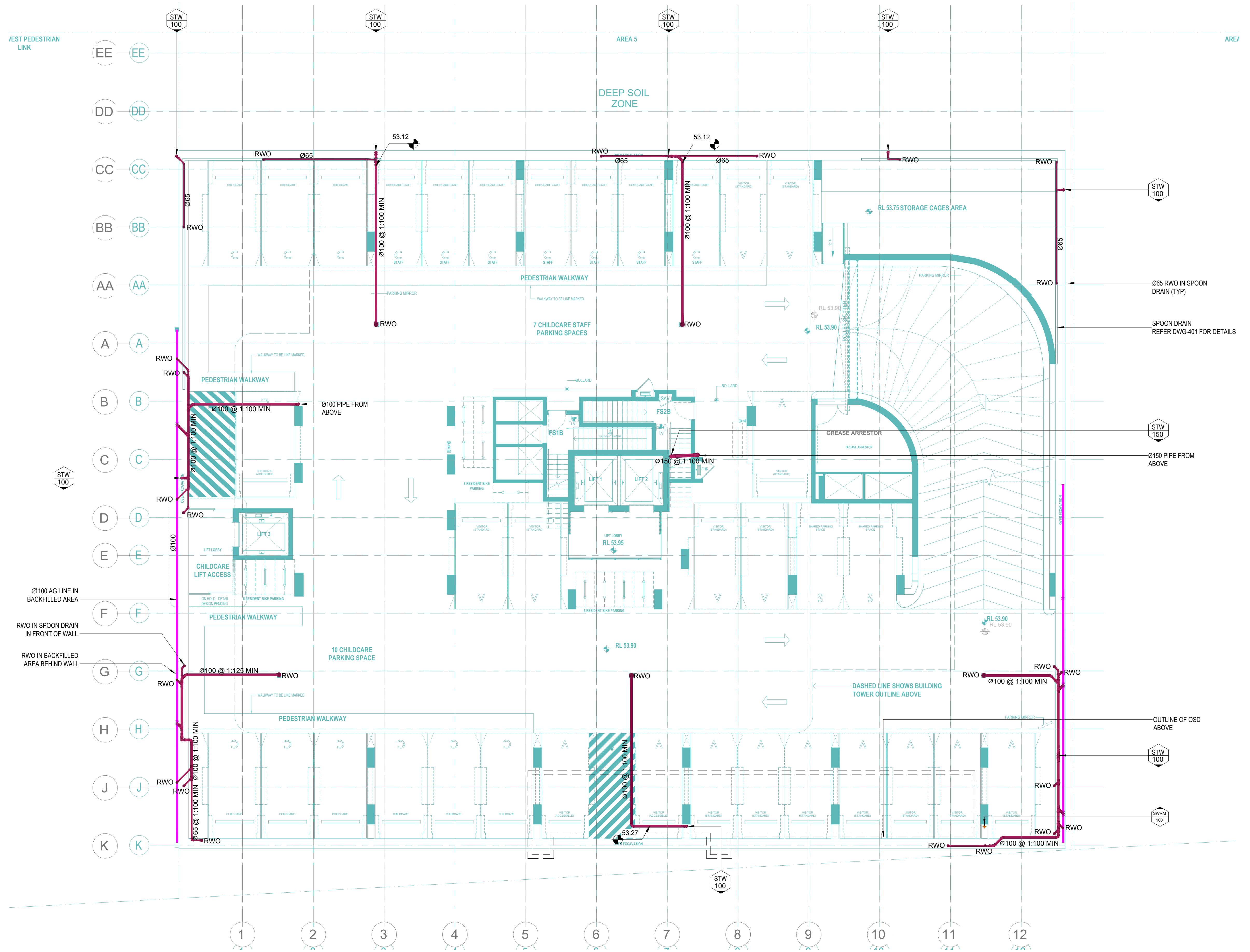
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1	09.04.2024	ISSUED FOR DA APPROVAL	MS

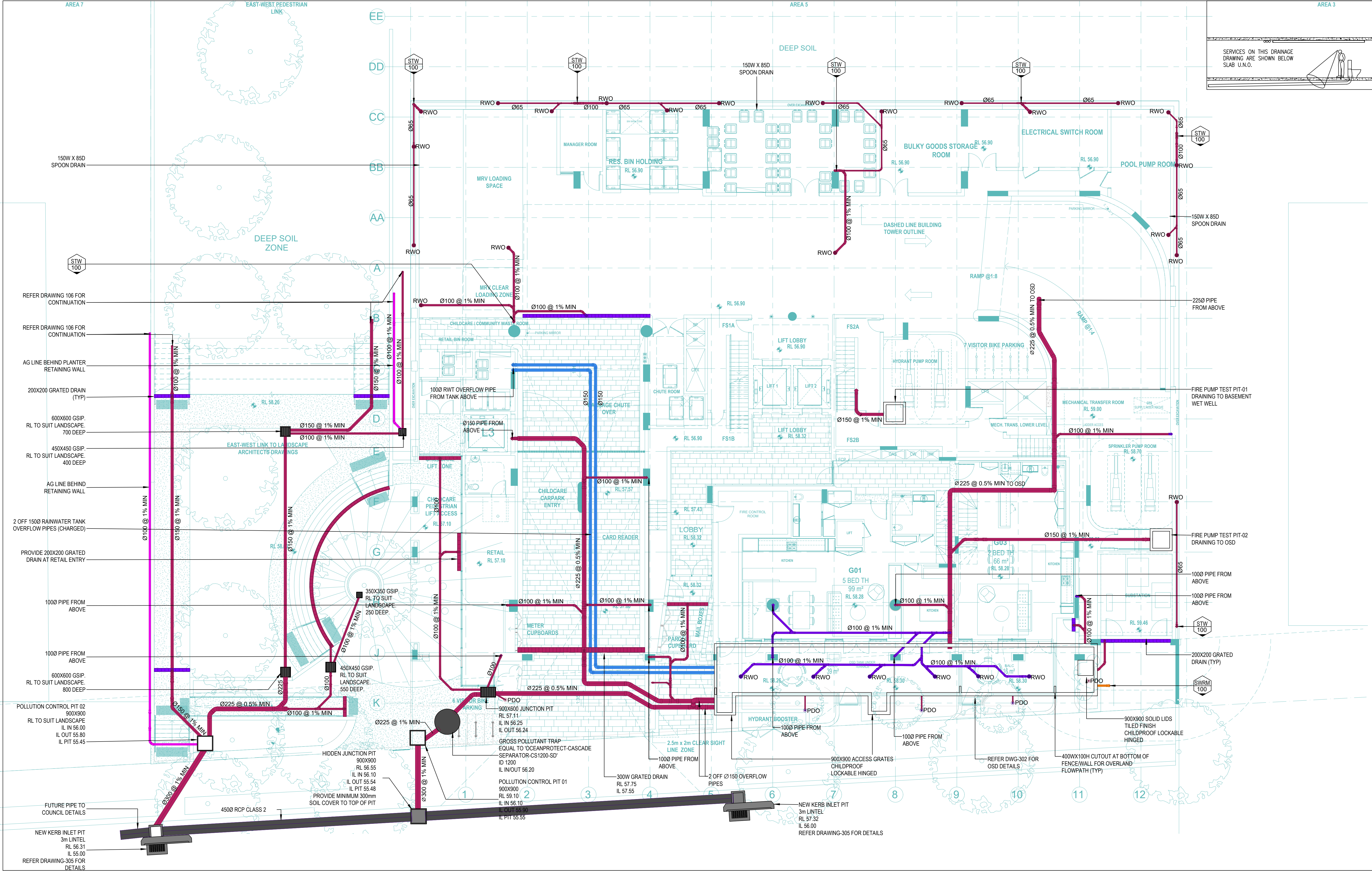
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DRAWN	SW
DESIGNED	MS
APPROVED BY	JF

FOR APPROVAL

NORTH POINT

PROJECT	PROPOSED DEVELOPMENT AT 13-19 CANBERRA AVE, ST LEONARDS NSW 2065			
DRG. TITLE	STORMWATER SERVICES - BASEMENT 2			
DRAWING No.	PROJECT No. 2000192	DISC. STW	NUMBER 103	REV 1





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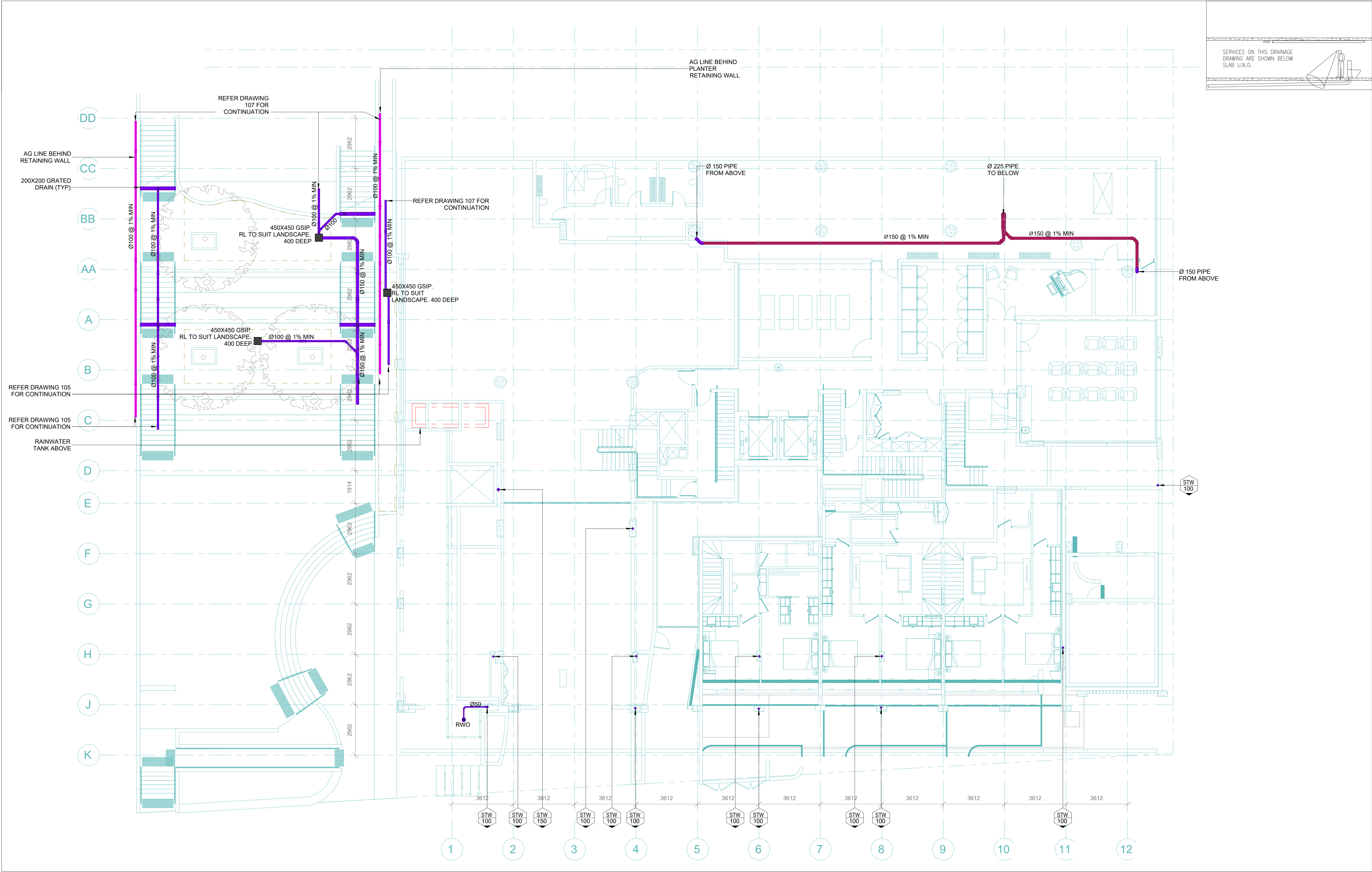
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1	09.04.2024	ISSUED FOR DA APPROVAL	MS

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DRAWN	SW	DESIGNED	MS
APPROVED BY	JF		

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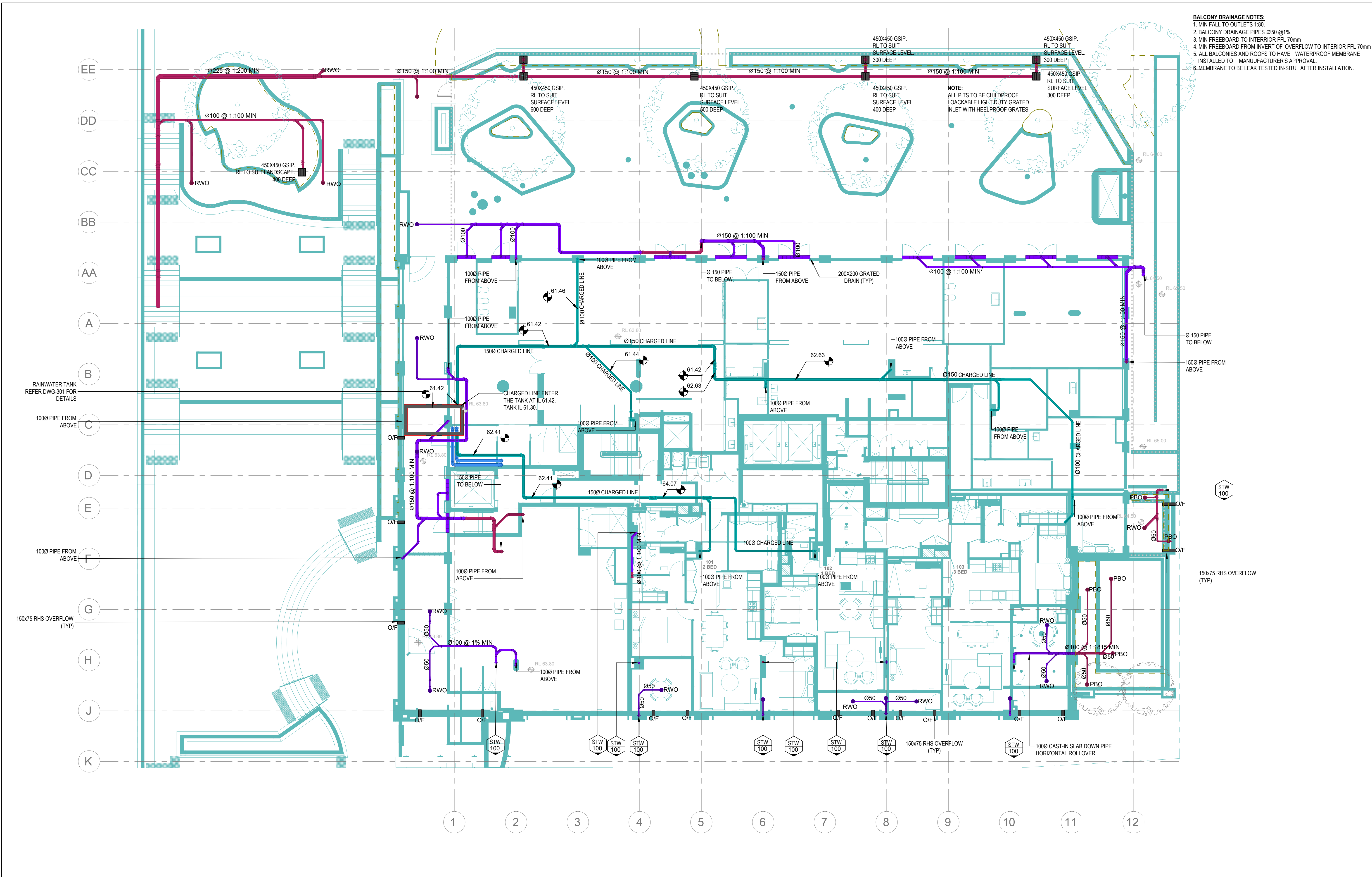
NORTH POINT

PROJECT	PROPOSED DEVELOPMENT AT 13-19 CANBERRA AVE, ST LEONARDS NSW 2065		
DRG. TITLE	STORMWATER SERVICES - GROUND FLOOR		
DRAWING No.	PROJECT No. 2000192	DISC. STW	NUMBER 105
			REV 1



SERVICES ON THIS DRAINAGE
DRAWING ARE SHOWN BELOW
SLAB U.N.O.

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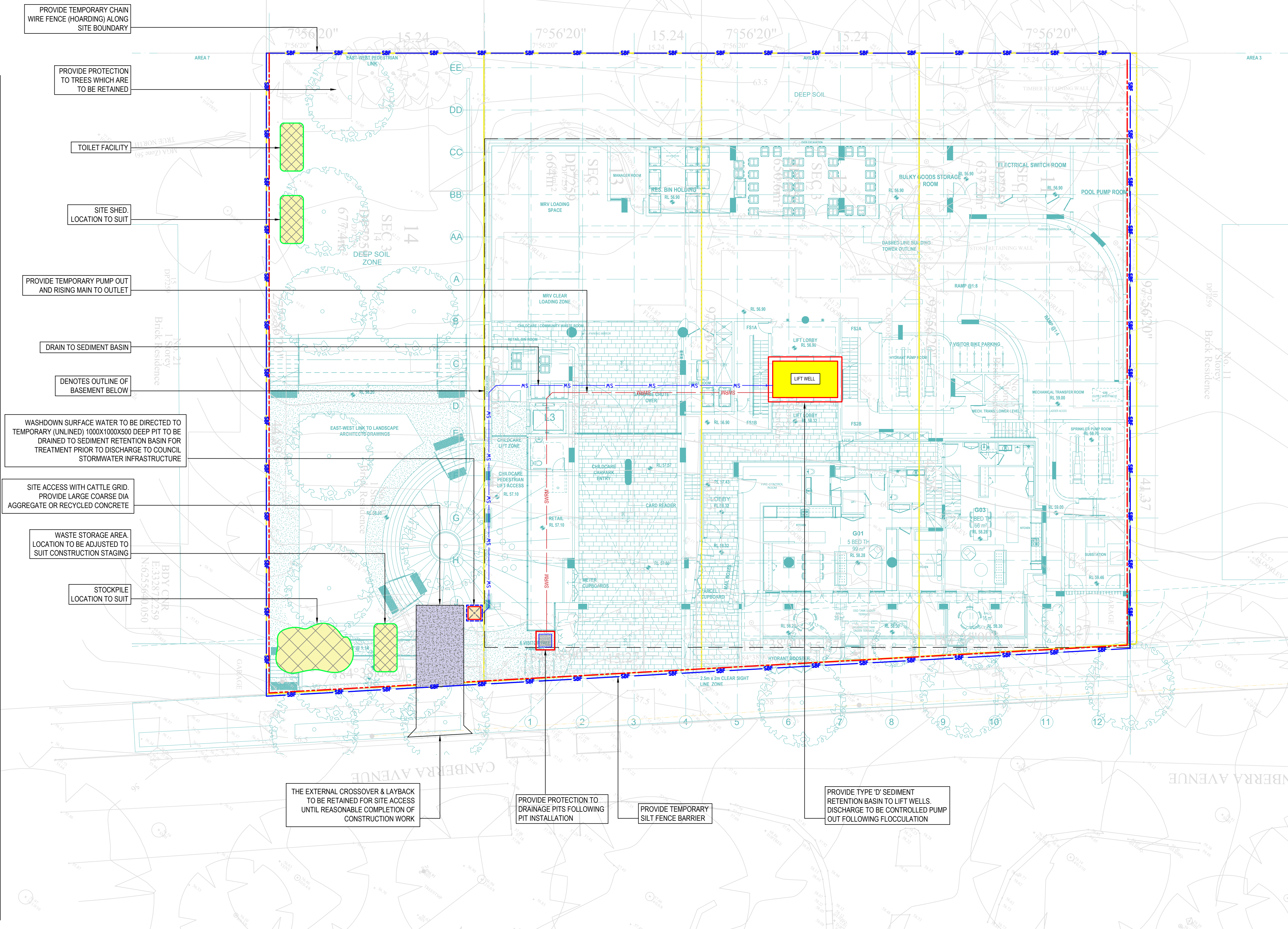


BALCONY DRAINAGE NOTES:
1. MIN FALL TO OUTLETS 1:80.
2. BALCONY DRAINAGE PIPES Ø50 @1%.
3. MIN FREEBOARD TO INTERIOR FFL 70mm
4. MIN FREEBOARD FROM INVERT OF OVERFLOW TO INTERIOR FFL 70mm
5. ALL BALCONIES AND ROOFS TO HAVE WATERPROOF MEMBRANE INSTALLED TO MANUFACTURER'S APPROVAL.
6. MEMBRANE TO BE LEAK TESTED IN-SITU AFTER INSTALLATION.

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										DRG. TITLE STORMWATER SERVICES - LEVEL 1			
									DRAWING No. 2000192	PROJECT No. 2000192	DISC. STW	NUMBER 107	REV 1

ENVIRONMENTAL SITE MANAGEMENT

1. EROSION & SEDIMENT CONTROLS TO BE INSTALLED IN ACCORDANCE WITH COUNCIL'S SPECIFICATION & THE NSW DEPARTMENT OF HOUSING "BLUE BOOK" - SOILS AND CONSTRUCTION - MANAGING URBAN STORMWATER, 2004. REFER TO THE BLUE BOOK FOR STANDARD DRAWINGS "SD"
2. SEDIMENT & EROSION CONTROLS MUST BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY EARTHWORKS OR DEMOLITION ACTIVITY. THE LOCATION OF SUCH DEVICES IS INDICATIVE ONLY AND FINAL POSITION SHOULD BE DETERMINED ON SITE.
3. RETAIN ALL EXISTING GRASS COVER WHEREVER POSSIBLE. TOPSOIL FROM ALL AREAS THAT WILL BE DISTRIBUTED TO BE STRIPPED AND STOCKPILED AT THE NOMINATED SITE. A SEDIMENT FENCE TO BE PLACED DOWNHILL OF STOCKPILE.
4. ALL EXISTING TREES TO BE RETAINED UNLESS SHOWN OTHERWISE ON APPROVED DRAWINGS. TREES RETAINED ARE TO BE PROTECTED WITH A HIGH VISIBILITY FENCE, PLUS FLAGGING TO INDIVIDUAL TREES AS NECESSARY.
5. INSTALL TEMPORARY SEDIMENT BARRIERS TO ALL INLET PITS LIKELY TO COLLECT SILT LADEN WATER, UNTIL SURROUNDING AREAS ARE PAVED OR REGRASSED.
6. ALL SILT FENCES & BARRIERS ARE TO BE MAINTAINED IN GOOD ORDER & REGULARLY DESILTED DURING THE CONSTRUCTION PERIOD.
7. STOCKPILES OF LOOSE MATERIALS SUCH AS SAND, SOIL, GRAVEL MUST BE COVERED WITH GEOTEXTILE SILT FENCE MATERIAL. PLASTIC SHEETING OR MEMBRANE MUST NOT BE USED. SAFETY BARRICADING SHOULD BE USED TO ISOLATE STOCKPILES OF SOLID MATERIALS SUCH AS STEEL REINFORCING, FORMWORK AND SCAFFOLDING.
8. WASTE MATERIALS ARE TO BE STOCKPILED OR LOADED INTO SKIP-BINS LOCATED ON SITE AS SHOWN ON PLAN.
9. NO MORE OF 150M OF TRENCHING TO BE OPEN AT ANY ONE TIME. IMMEDIATELY AFTER TRENCH BACKFILLING, PROVIDE SANDBAGS OR SAUSAGE FILTERS ACROSS EACH TRENCH AT MAXIMUM 20M SPACING. FILTERS TO REMAIN IN PLACE UNTIL REVEGETATION HAS OCCURRED.
10. ALL VEHICLES LEAVING THE SITE MUST PASS OVER THE STABILISED SITE ACCESS BALLAST AREA TO SHAKE OFF SITE CLAY AND SOIL. IF NECESSARY WHEELS AND AXLES ARE TO BE HOSED DOWN. BALLAST IS TO BE MAINTAINED AND REPLACED AS NECESSARY DURING THE CONSTRUCTION PERIOD.
11. THE HEAD CONTRACTOR IS TO INFORM ALL SITE STAFF AND SUB-CONTRACTORS OF THEIR OBLIGATIONS UNDER THE EROSION AND SEDIMENT CONTROL PLAN.
12. ANY SEDIMENT DEPOSITED ON THE PUBLIC WAY, INCLUDING FOOTPATH RESERVE AND ROAD SURFACE, IS TO BE REMOVED IMMEDIATELY.
13. PROVIDE BARRIERS AROUND ALL CONSTRUCTION WORKS WITHIN THE FOOTPATH AREA TO PROVIDE SAFE ACCESS FOR PEDESTRIANS.
14. CONCRETE PUMPS AND CRANES ARE TO OPERATE FROM WITHIN THE BALLAST ENTRY DRIVEWAY AREA AND ARE NOT TO OPERATE FROM THE PUBLIC ROAD WAY ACCESS UNLESS SPECIFIC COUNCIL PERMISSION IS OBTAINED.
15. TRUCKS REMOVING EXCAVATED / DEMOLISHED MATERIAL SHOULD TRAVEL ON STABILISED CONSTRUCTION PATHS. MATERIAL TO BE TAKEN TO THE TRUCK TO REDUCE TRUCK MOVEMENT ON SITE. TRUCKS TO BE LIMITED TO SINGLE UNIT HEAVY RIGID VEHICLES. [NO SEMITRAILERS]
16. ANY EXCAVATION WORK ADJUSTMENT TO ADJOINING PROPERTIES OR THE PUBLIC ROADWAY IS NOT TO BE COMMENCED UNTIL THE STRUCTURAL ENGINEER IS CONSULTED AND SPECIFIC INSTRUCTIONS RECEIVED FROM THE ENGINEER.
17. TOILET FACILITIES MUST BE EITHER A FLUSHING TYPE OR APPROVED PORTABLE CHEMICAL CLOSET. CHEMICAL CLOSETS ARE TO BE MAINTAINED AND SERVICED ON A REGULAR BASIS SO THAT OFFENSIVE ODOUR IS NOT EMITTED.
18. DURING TRENCH EXCAVATION ALL SPOIL SHALL BE MOUNDED ON THE UPHILL SIDE OF TRENCHES AND PLACEMENT IS TO COMPLY WITH THE SUPERINTENDENTS REQUIREMENT. DIVERSION BANKS SHOULD BE CONSTRUCTED BY MOUNDING STRIPPED TOPSOIL [MIN HEIGHT 600MM] WHERE DIRECTED. MATERIAL TO BE RESPREAD ON FOOTWAYS AFTER FINAL TRIMMING.
19. UNDISTURBED BUFFER ZONE AREAS ARE CLOSED TO ALL TRAFFIC MOVEMENTS UNLESS OTHERWISE NOTED BY SUPERINTENDENT AND ACCESS TO THE SEWER ORC.D.L. TRENCHING WILL BE AS SHOWN, OR HEAVY PENALTIES MAY BE IMPOSED.
20. TRAFFIC MANAGEMENT MEASURES ARE TO BE IMPLEMENTED AND MAINTAINED DURING CONSTRUCTION. IN ACCORDANCE WITH R.T.A. TRAFFIC CONTROL AT WORK SITES - CURRENT EDITION AND AS 1742 'MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES'.
21. PEDESTRIAN CONTROL MEASURES ARE REQUIRED TO BE IMPLEMENTED AND MAINTAINED DURING CONSTRUCTION. IN ACCORDANCE WITH AS 1742 'MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES'.
- 22.



- NOTES:
1. PROVIDE TEMPORARY SEDIMENT PROTECTION TO ALL NEW GRATES/PITS/RWOS AS THEY ARE CONSTRUCTED AND MAINTAIN UNTIL SITE WORKS GET COMPLETED. LOCATION OF GRATES/PITS TO ARCHITECT'S DETAIL.
 2. TREE BARRIERS REQUIRED IN ACCORDANCE WITH THE ARBORIST REPORT.

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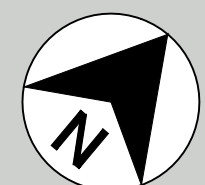
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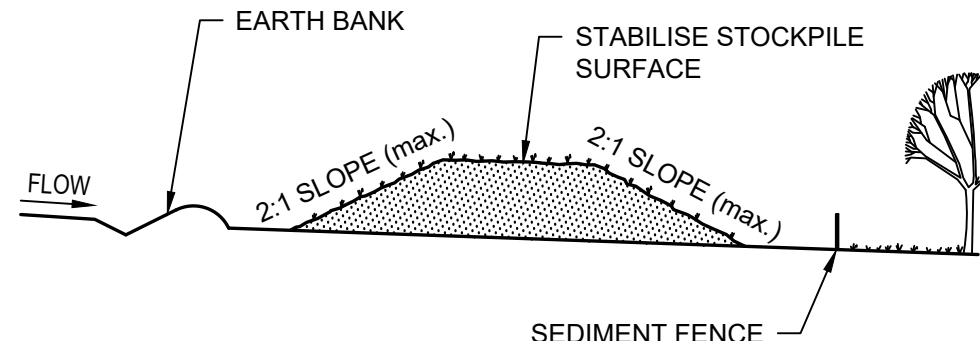
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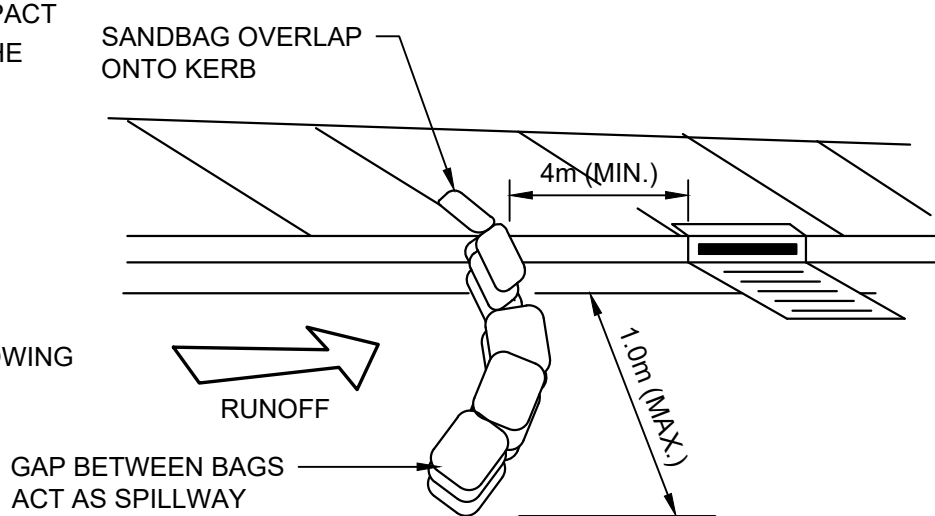
PROJECT	PROPOSED DEVELOPMENT AT 13-19 CANBERRA AVE, ST LEONARDS NSW 2065
DRG. TITLE	EROSION AND SEDIMENTATION CONTROL PLAN
DRAWING No.	PROJECT No. 2000192
DISC.	STW
NUMBER	201
REV	1



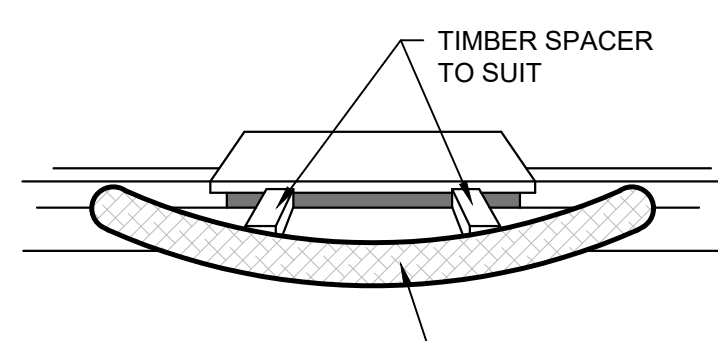
STOCKPILE
SCALE NTS

STOCKPILE

1. MAINTAIN THE TRENCH FREE OF WATER AND RECOMPACT THE MATERIALS WITH EQUIPMENT AS SPECIFIED IN THE SWMP TO 95% STANDARD PROCTOR DENSITY.
2. SELECT FILL FOLLOWING THE SWMP THAT IS FREE OF ROOTS, WOOD, ROCK LARGE STONE OR FOREIGN MATERIAL.
3. SPREAD THE FILL IN 100mm TO 150mm LAYERS AND COMPACT IT AT OPTIMUM MOISTURE CONTENT FOLLOWING THE SWMP.



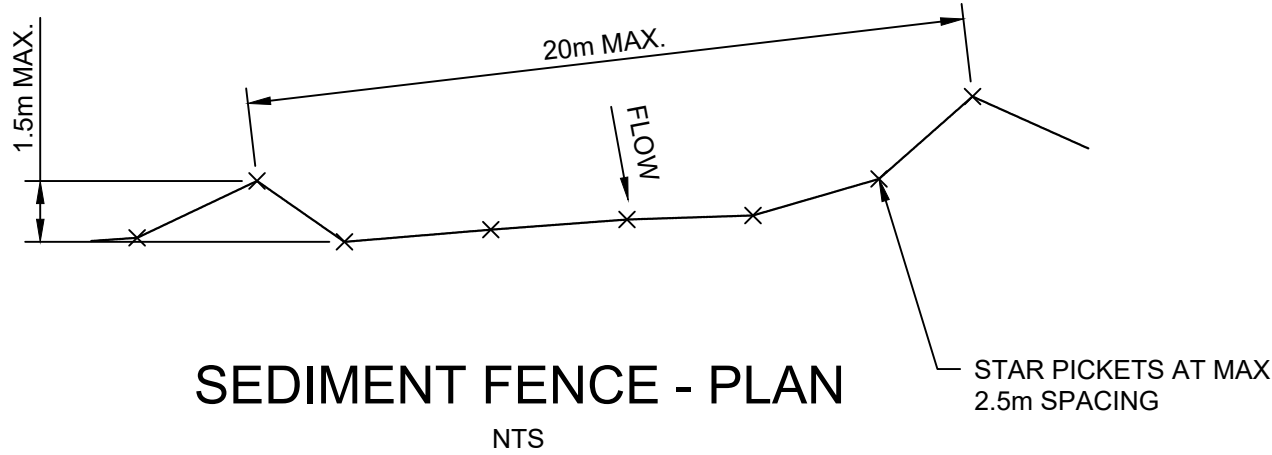
KERB INLET SEDIMENT FILTER
(ON GRADE)
SCALE NTS



KERB INLET SEDIMENT FILTER
(SAG)
SCALE NTS

KERB INLET SEDIMENT FILTER

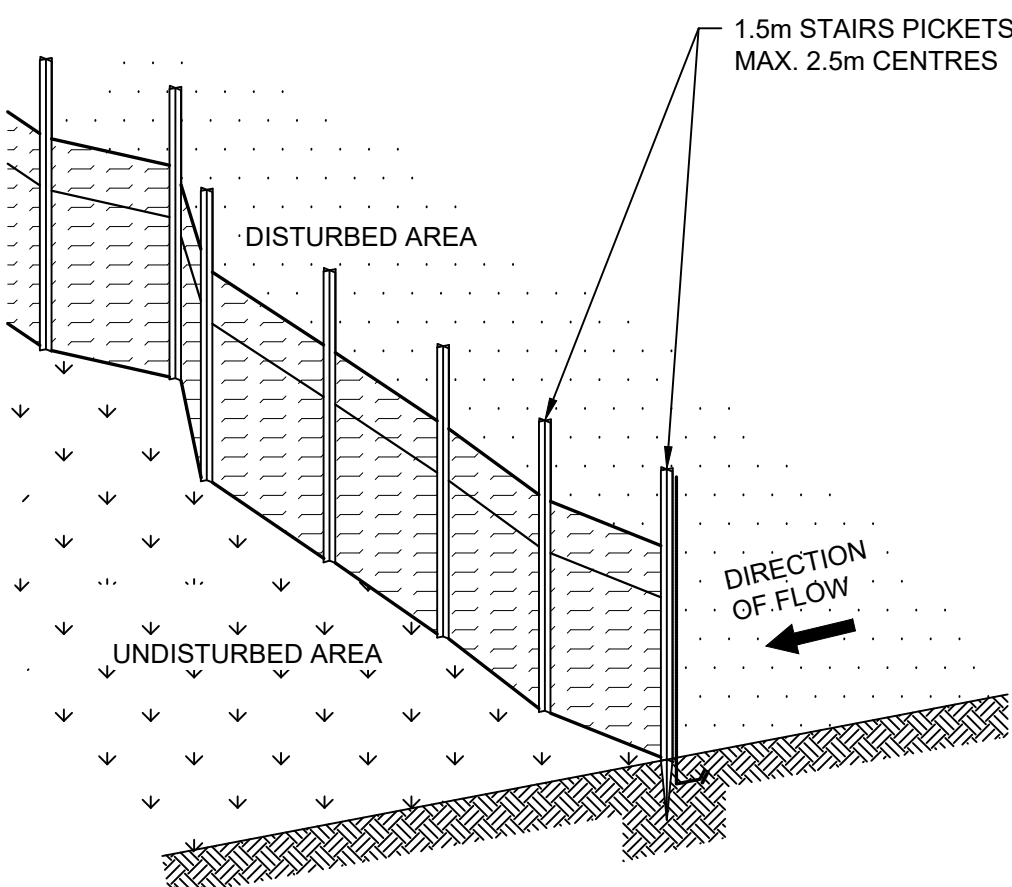
1. REFER TO APPROVED PLANS FOR LOCATION AND INSTALLATION DETAILS. IF THERE ARE QUESTIONS OR PROBLEMS WITH THE LOCATION, DIMENSIONS, OR METHOD OF INSTALLATION, CONTACT THE ENGINEER OR RESPONSIBLE ON-SITE OFFICER FOR ASSISTANCE.
2. ENSURE THAT THE INSTALLATION OF THE SEDIMENT TRAP WILL NOT CAUSE UNDESIRABLE SAFETY OR FLOODING ISSUES.
3. INSTALL SEDIMENT TRAP IN ACCORDANCE WITH STANDARD DRAWING SUPPLIED WITH THE APPROVED PLAN, OR AS DIRECTED BY THE SITE SUPERVISOR.
4. ENSURE THE SEDIMENT TRAP IS CONSTRUCTED UP-SLOPE OF AN ON-GRADE KERB INLET. THE SEDIMENT TRAP MUST NOT SURROUND THE KERB INLET UNLESS SPECIFICALLY DIRECTED BY THE SITE SUPERVISOR.
5. ENSURE THE SEDIMENT TRAP FULLY ENCLOSES THE KERB INLET. USE APPROPRIATE SPACERS TO ENSURE THE SEDIMENT TRAP DOES NOT BLOCK THE SIDE-ENTRY INLET.
6. TAKE ALL NECESSARY MEASURE TO MINIMISE THE SAFETY RISK CAUSED BY THE STRUCTURE



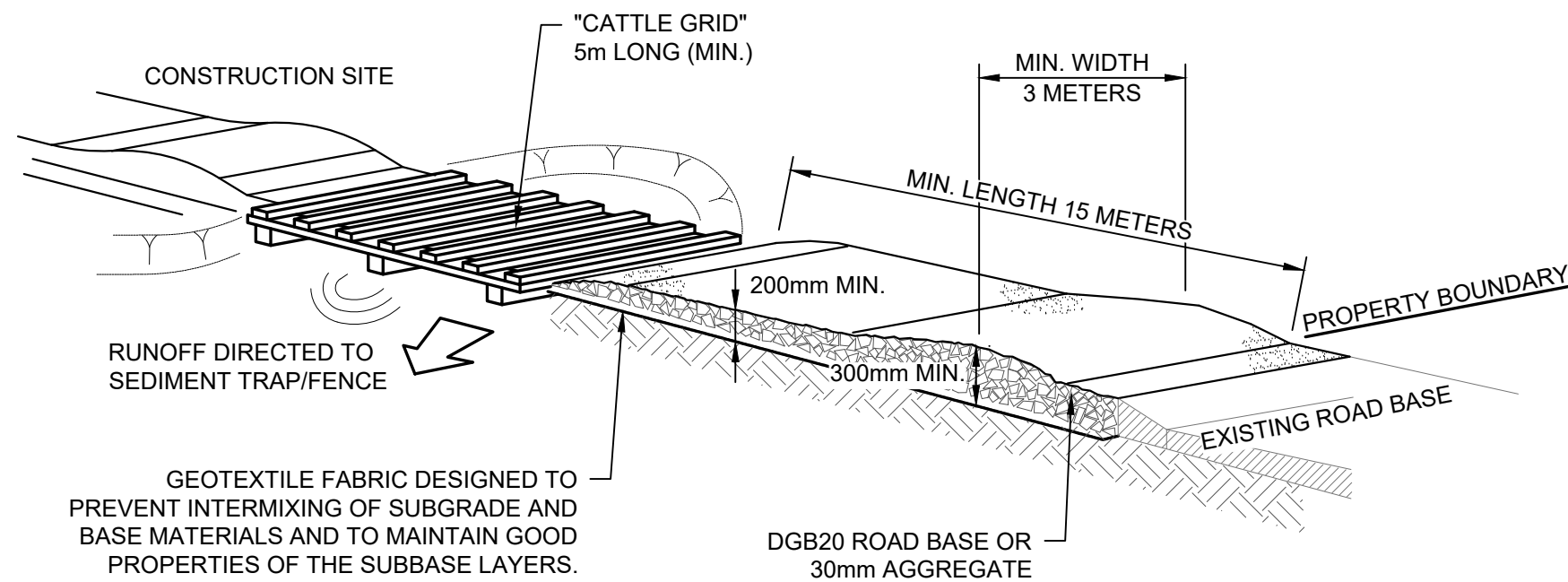
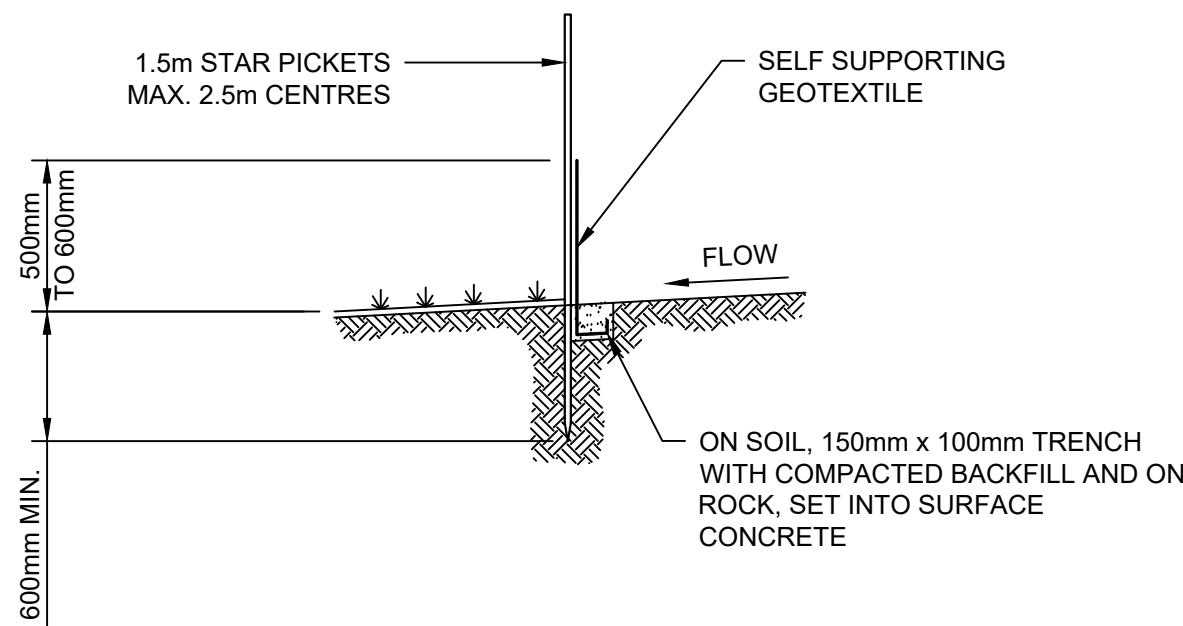
SEDIMENT FENCE - PLAN
NTS

SEDIMENT FENCE

1. CONSTRUCT SEDIMENT FENCES AS CLOSE AS POSSIBLE TO BE PARALLEL TO THE CONTOURS OF THE SITE, BUT WITH SMALL RETURNS AS SHOWN IN THE DRAWING, TO LIMIT THE CATCHMENT AREA OF ANY ONE SECTION. THE CATCHMENT AREA SHOULD BE SMALL ENOUGH TO LIMIT WATER FLOW IF CONCENTRATED AT ONE POINT TO 50 litres/sec IN THE DESIGN STORM EVENT, USUALLY THE 10 YEAR EVENT.
2. CUT A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
3. DRIVE 1.5 METER LONG STAR PICKETS INTO GROUND AT 2.5 METER INTERVALS (MAX.) AT THE DOWNSLOPE EDGE OF THE TRENCH. ENSURE ANY STAR PICKETS ARE FITTED WITH SAFETY CAPS.
4. FIX SELF-SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF THE POSTS, ENSURING IT GOES TO THE BASE OF THE TRENCH. FIX THE GEOTEXTILE WITH WIRE TIES, OR AS RECOMMENDED BY THE MANUFACTURER. ONLY USE GEOTEXTILE SPECIFICALLY PRODUCED FOR SEDIMENT FENCING. THE USE OF SHADE CLOTH FOR THIS PURPOSE IS NOT SATISFACTORY.
5. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150mm OVERLAP.
6. BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.



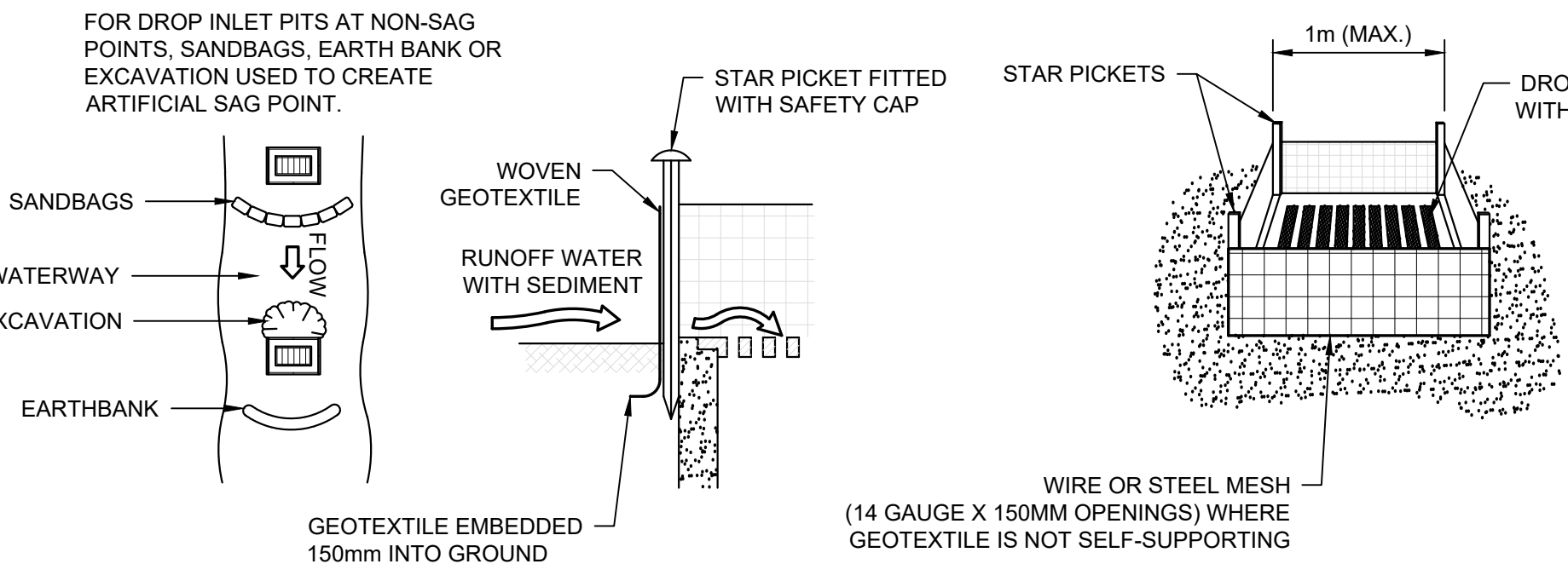
SEDIMENT FENCE - DETAIL
NTS



STABILISED SITE ACCESS DETAIL
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STABILISED SITE ACCESS

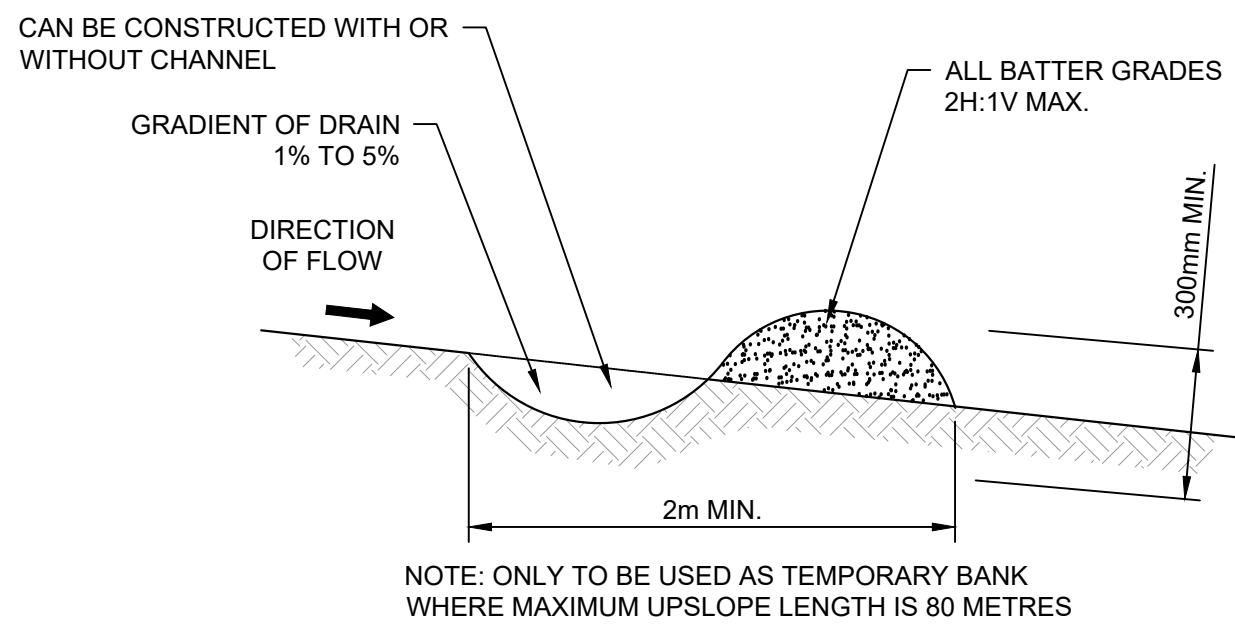
1. COVER THE EXISTING SANDSTONE SUBGRADE AREA WITH NEEDLE-PUNCHED GEOTEXTILE.
2. CONSTRUCT A 200mm THICK PAD OVER THE GEOTEXTILE USING ROAD BASE OR 30mm AGGREGATE.
3. ENSURE THE STRUCTURE IS AT LEAST 15 METERS LONG OR TO BUILDING ALIGNMENT AND AT LEAST 3 METERS WIDE.
4. WHERE A SEDIMENT FENCE JOINS ONTO THE STABILISED ACCESS, CONSTRUCT A HUMP IN THE STABILISED ACCESS TO DIVERT WATER TO THE SEDIMENT



DROP INLET FILTER
NTS

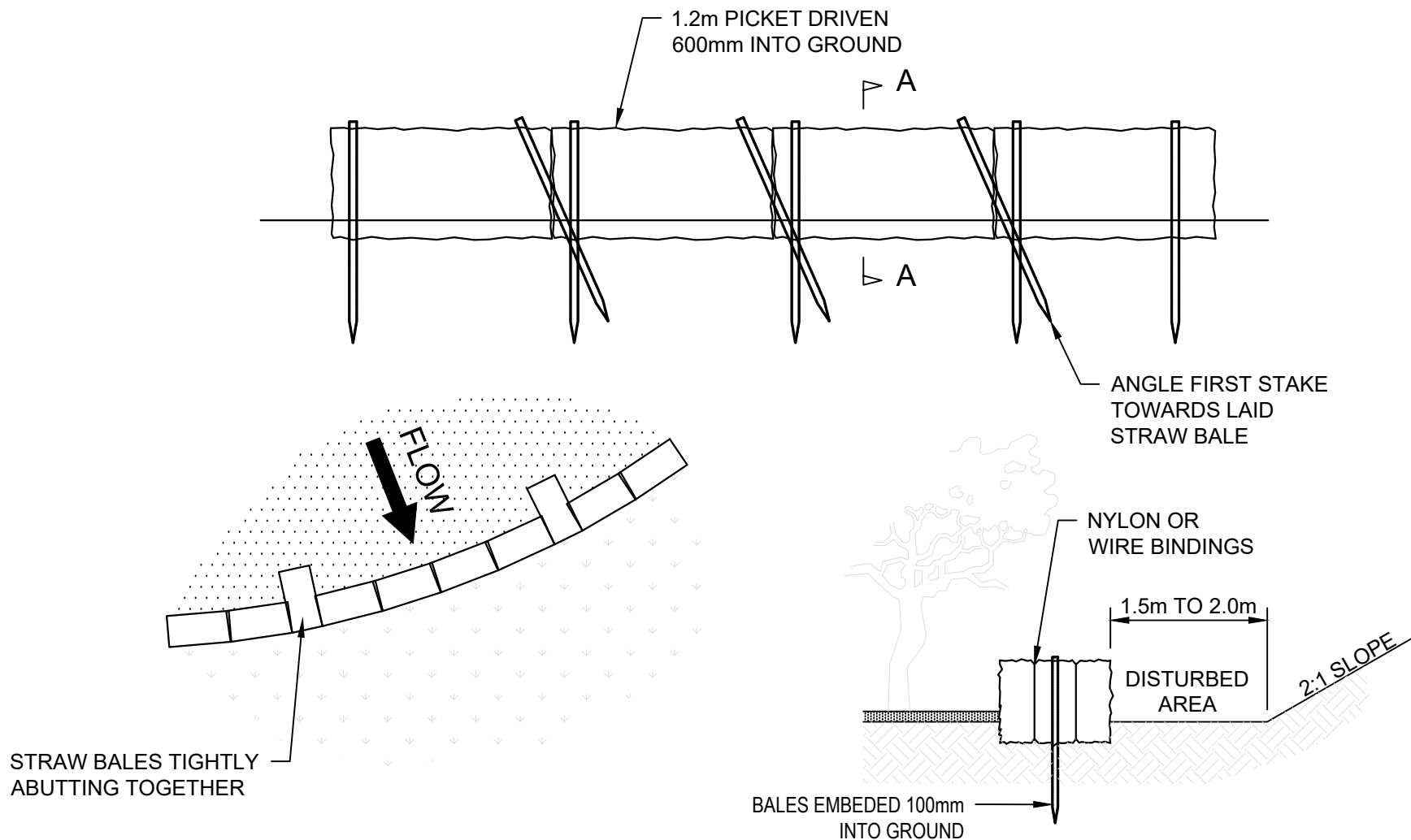
DROP INLET FILTERS

1. FABRICATE A SEDIMENT BARRIER MADE FROM GEOTEXTILE OF STRAW BALES.
2. FOLLOW STANDARD DRAWINGS OF STRAW BALE FILTERS AND SEDIMENT FENCES FOR INSTALLATION PROCEDURES FOR THE STRAW BALES OR GEOFABRIC. REDUCE THE PICKET SPACING TO 1m CENTERS.
3. IN WATERWAYS, ARTIFICIAL SAG POINTS CAN BE CREATED WITH SANDBAGS OR EARTH BANKS AS SHOWN IN THE DRAWING.
4. DO NOT COVER THE INLET WITH GEOTEXTILE UNLESS THE DESIGN IS ADEQUATE TO ALLOW FOR ALL WATERS TO BYPASS IT.



EARTH BANK (LOW FLOW)

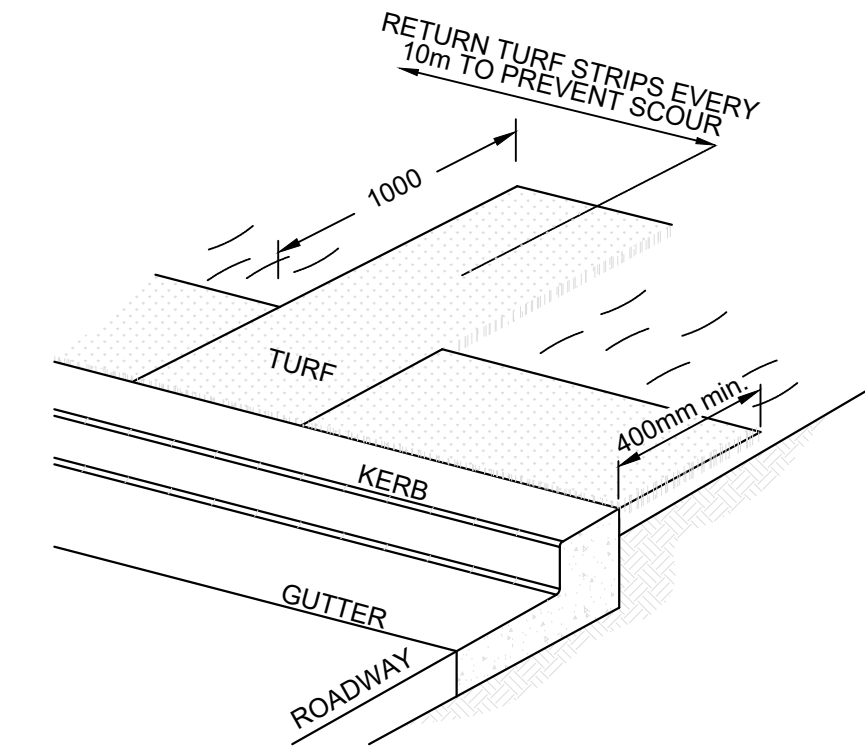
1. BUILD WITH GRADIENTS BETWEEN 1% AND 5%.
2. AVOID REMOVING TREES AND SHRUBS IF POSSIBLE - WORK AROUND THEM.
3. ENSURE THE STRUCTURES ARE FREE OF PROJECTIONS OR OTHER IRREGULARITIES THAT COULD IMPEDE WATER FLOW.
4. BUILD THE DRAINS WITH CIRCULAR, PARABOLIC OR TRAPEZOIDAL CROSS SECTIONS, NOT V SHAPED.
5. ENSURE BANKS ARE PROPERLY COMPACTED TO PREVENT FAILURE.
6. COMPLETE PERMANENT OR TEMPORARY STABILISATION WITHIN 10 DAYS OF CONSTRUCTION.



STRAW BALE FILTERS
NTS

STRAW BALE FILTERS

1. CONSTRUCT THE STRAW BALE FILTER AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE CONTOURS OF THE SITE, BUT WITH SMALL RETURNS AS SHOWN IN THE DIAGRAM TO LIMIT THE CATCHMENT AREA OF ANY ONE SECTION.
2. PLACE BALES LENGTHWISE IN A ROW WITH ENDS TIGHTLY ABUTTING. USE STRAW TO FILL ANY GAPS BETWEEN THE BALES. THE STRAWS IN EACH BALE ARE TO BE ALIGNED PARALLEL TO THE GROUND.
3. ENSURE THAT THE MAXIMUM HEIGHT OF THE FILTER IS ONE BALE.
4. EMBED EACH BALE IN THE GROUND 75mm TO 100mm AND ANCHOR WITH 1.2m STAR PICKETS OR STAKES. ANGLE THE FIRST STAR PICKET OR STAKE IN EACH BALE TOWARDS THE PREVIOUSLY LAID BALE. DRIVE THEM 600mm INTO THE GROUND AND, IF POSSIBLE, FLUSH WITH THE TOP OF THE BALES. WHERE STAR PICKETS ARE USED AND THEY PROTRUDE ABOVE THE BALES, ENSURE THEY ARE FITTED WITH SAFETY CAPS.
5. WHERE A STRAW BALE FILTER IS CONSTRUCTED DOWNSLOPE FROM A DISTURBED BATTER, ENSURE BALES ARE PLACED 1m TO 2m DOWNSLOPE FROM THE TOE.
6. ESTABLISH A MAINTENANCE PROGRAM THAT ENSURES THE INTEGRITY OF THE BALES IS RETAINED - THEY COULD REQUIRE REPLACEMENT EACH TWO TO FOUR MONTHS.



KERBSIDE TURF STRIP

1. INSTALL A 400mm MINIMUM WIDE ROLL OF TURF ON THE FOOTPATH NEXT TO THE KERB AND AT THE SAME LEVEL AS THE TOP OF THE KERB.
2. LAY 1.4m LONG TURF STRIPS NORMAL TO THE KERB EVERY 10m.
3. REHABILITATE DISTURBED SOIL BEHIND THE TURF STRIP FOLLOWING THE ESCP/SWMP.

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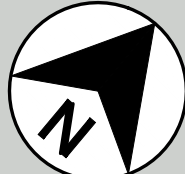
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PROJECT

DRG. TITLE

DRAWING No.

PROJECT No.

2000192

DISC.

STW

NUMBER

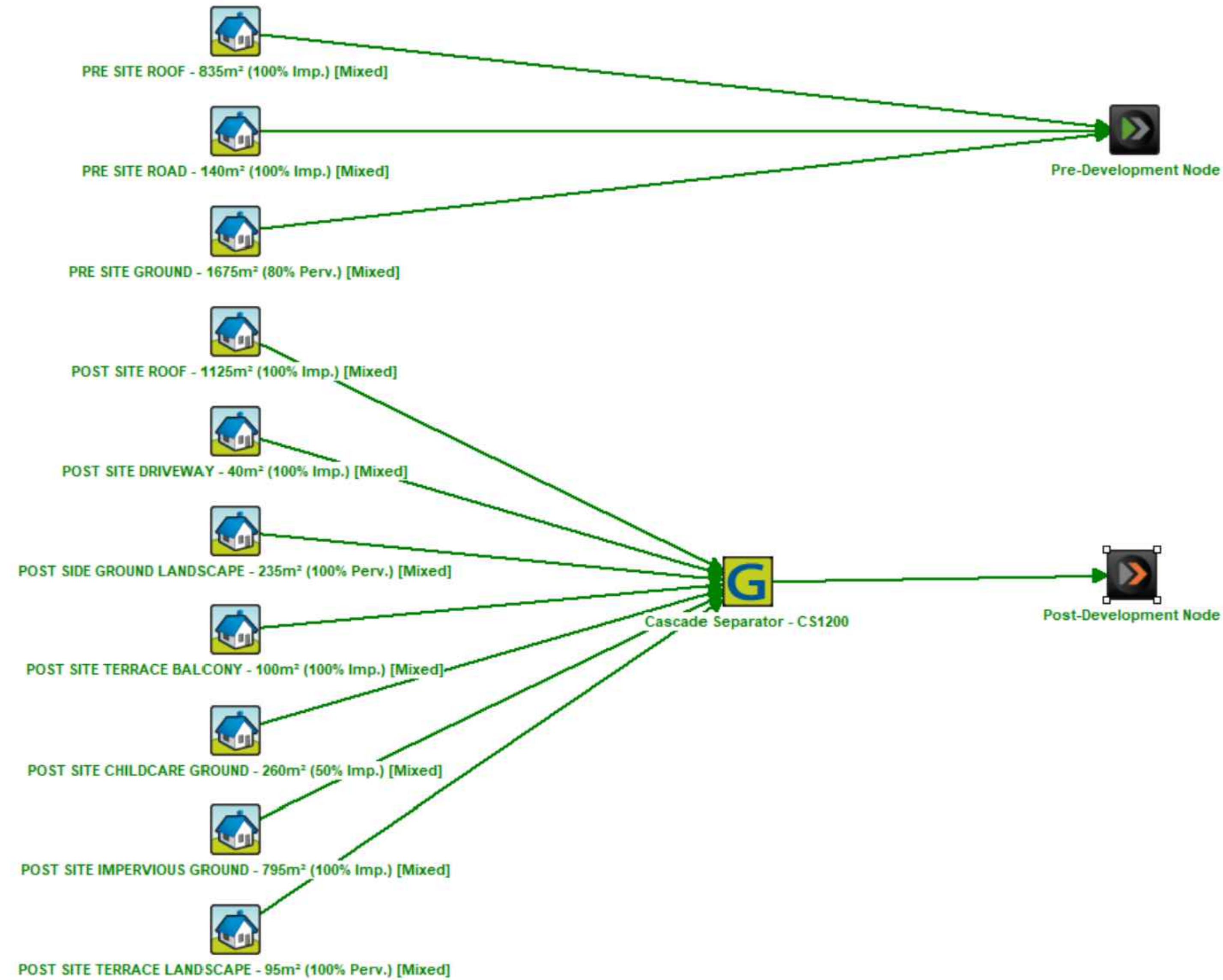
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REV

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PROPOSED DEVELOPMENT AT
13-19 CANBERRA AVE, ST LEONARDS NSW 2065

STORMWATER SERVICES
EROSION & SEDIMENTATION
CONTROL DETAILS



Treatment Train Effectiveness - Post-Development Node						
	Sources		Residual Load		% Reduction	
	Pre	Post	Pre	Post	Pre	Post
Flow (ML/yr)	2.23	2.86	2.23	2.86	0	0
Total Suspended Solids (kg/yr)	219	299	219	59.9	0	80
Total Phosphorus (kg/yr)	0.517	0.647	0.517	0.453	0	30
Total Nitrogen (kg/yr)	4.66	6.15	4.66	4.31	0	29.9
Gross Pollutants (kg/yr)	46.9	65.6	46.9	3.28	0	95

☒ Include Pre-Development

19671 - 13-19 Canberra Avenue, ST LEONARDS			
Pre-Development	Source (kg/yr)	Residual Load (kg/yr)	% Reduction
Flow (ML/yr)	2.23	2.23	0
Total Suspended	2.19E+02	2.19E+02	0
Total Phosphorus	5.17E-01	5.17E-01	0
Total Nitrogen (kg/yr)	4.66	4.66	0
Gross Pollutants	46.9	46.9	0
Post-Development	Source (kg/yr)	Residual Load (kg/yr)	% Reduction
Flow (ML/yr)	2.86	2.86	0
Total Suspended	2.99E+02	5.99E+01	80
Total Phosphorus	6.47E-01	4.53E-01	30
Total Nitrogen (kg/yr)	6.15	4.31	30
Gross Pollutants	6.56E+01	3.28	95
NorBE	Pre-Development Load (kg/yr)	Post Development Load (kg/yr)	% Pre. Vs Post Reduction
Flow (ML/yr)	2.23	2.86	-28.3%
Total Suspended Solids (kg/yr)	2.19E+02	59.9	72.6%
Total Phosphorus (kg/yr)	0.517	0.453	12.4%
Total Nitrogen (kg/yr)	4.66	4.31	7.5%
Gross Pollutants (kg/yr)	46.9	3.28	93.0%

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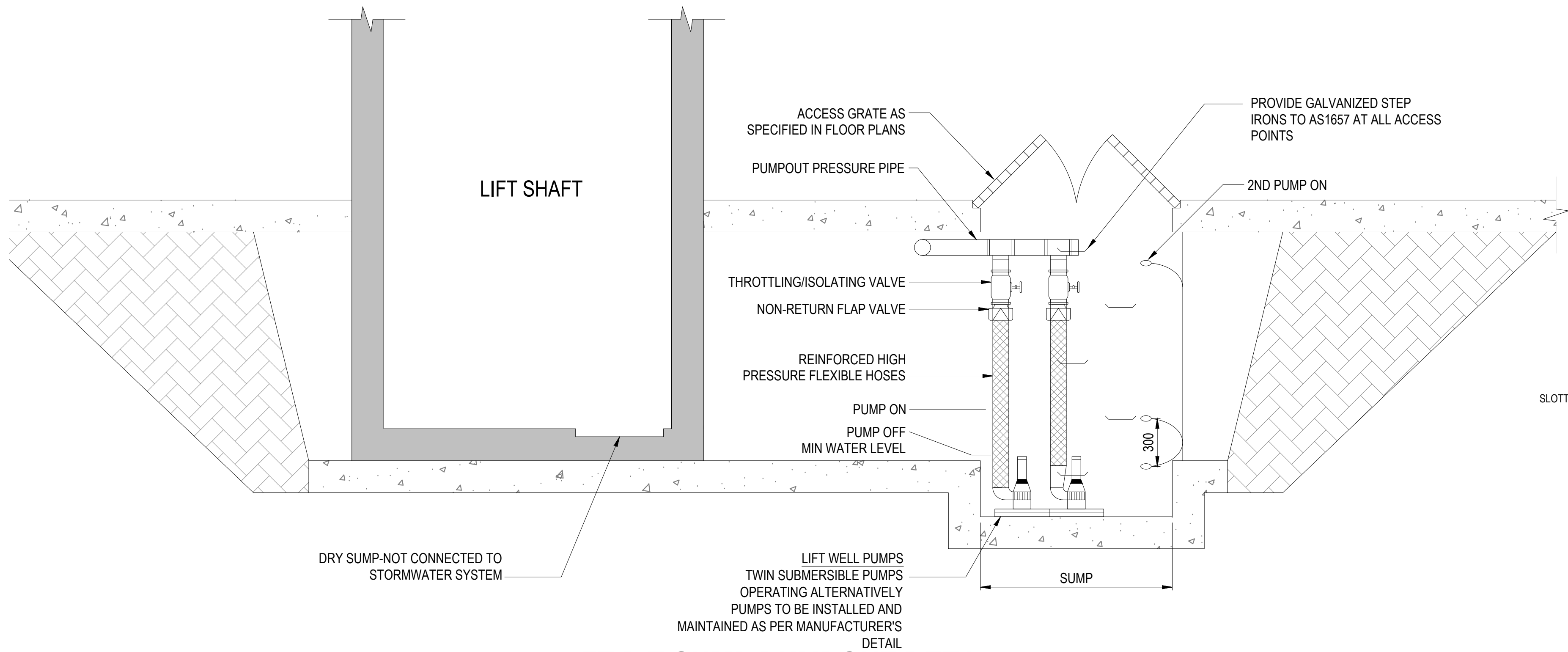
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REV	DATE	REVISION DETAILS	LAST EDITED
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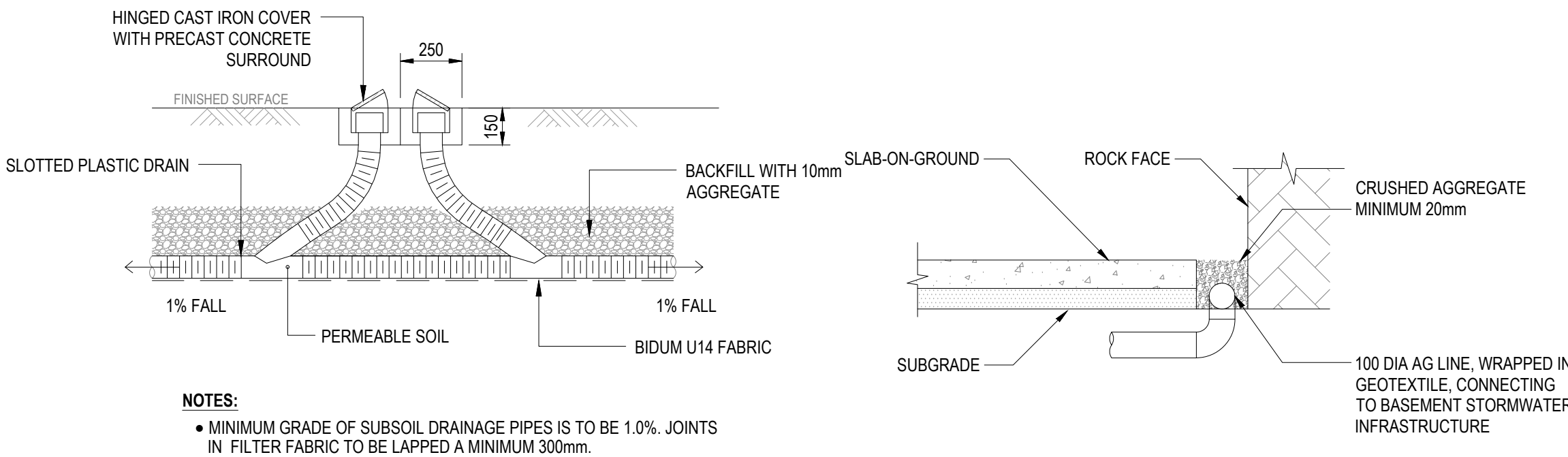
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DRAWN	FS
DESIGNED	MS
VERIFIED	JF

FOR APPROVAL

PROJECT	PROPOSED DEVELOPMENT AT 13-19 CANBERRA AVE, ST LEONARDS NSW 2065			
DRG. TITLE	STORMWATER SERVICES MUSIC MODEL			
DRAWING No.	PROJECT No. 2000192	DISC. - STW -	NUMBER 203	REV - 1

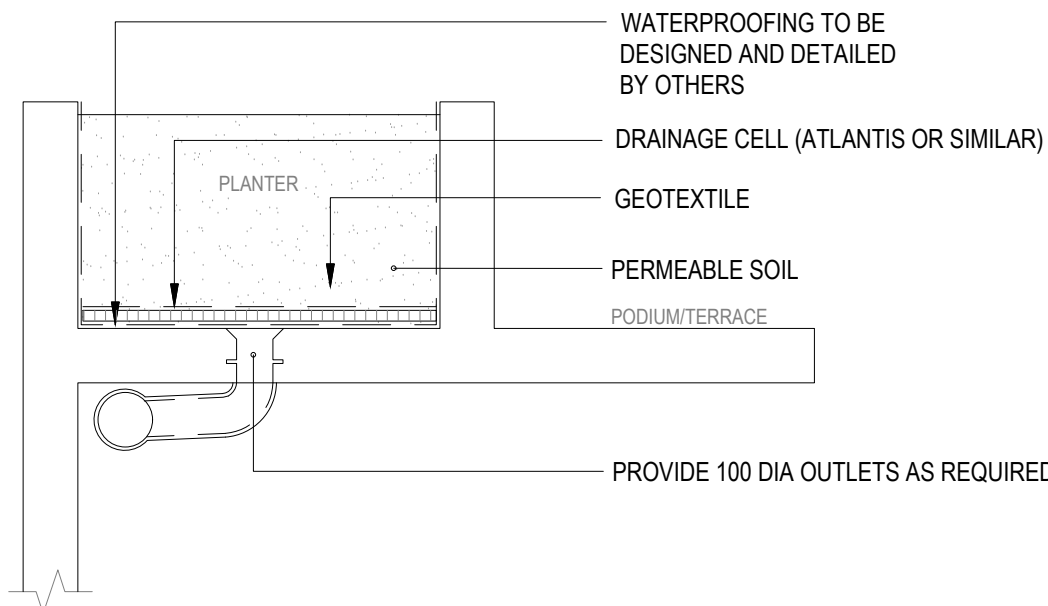


LIFT PIT SUMP PUMPOUT DETAIL
SCALE 1:20

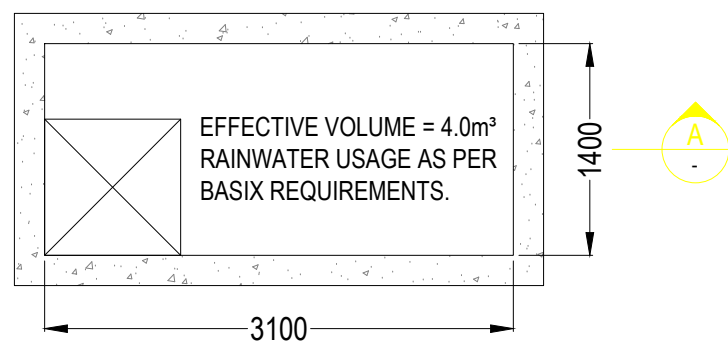


SUBSOIL PIPE FLUSHING POINT
NTS

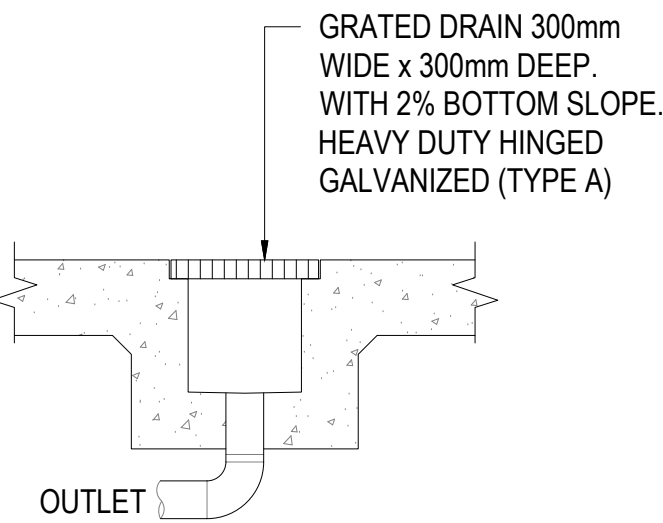
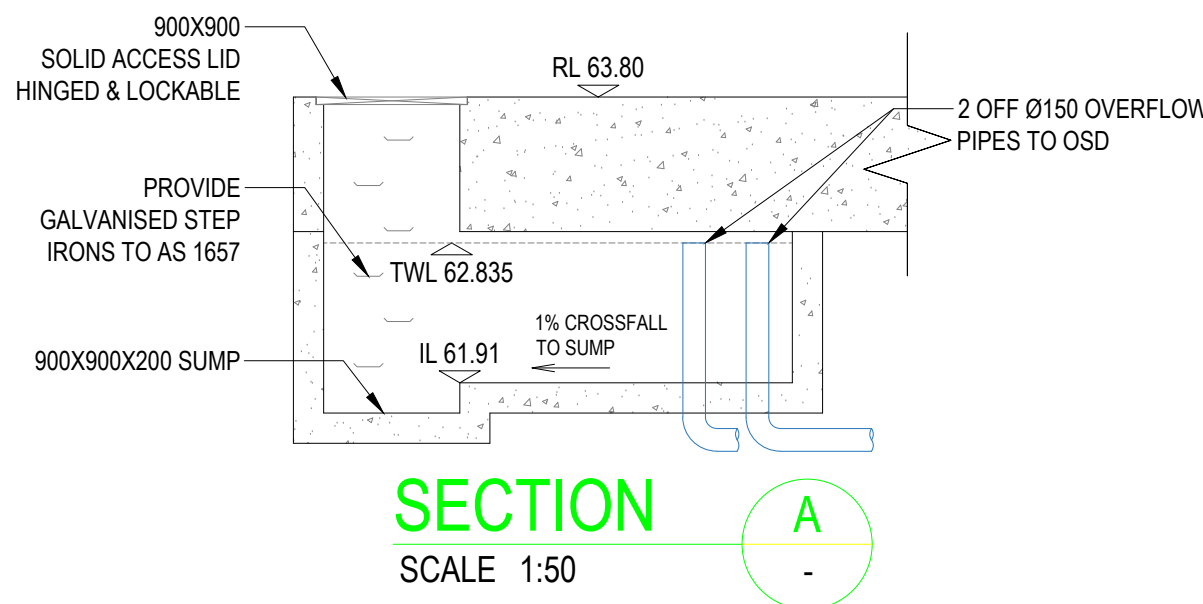
TYPICAL AG LINE DETAIL
SCALE 1:20



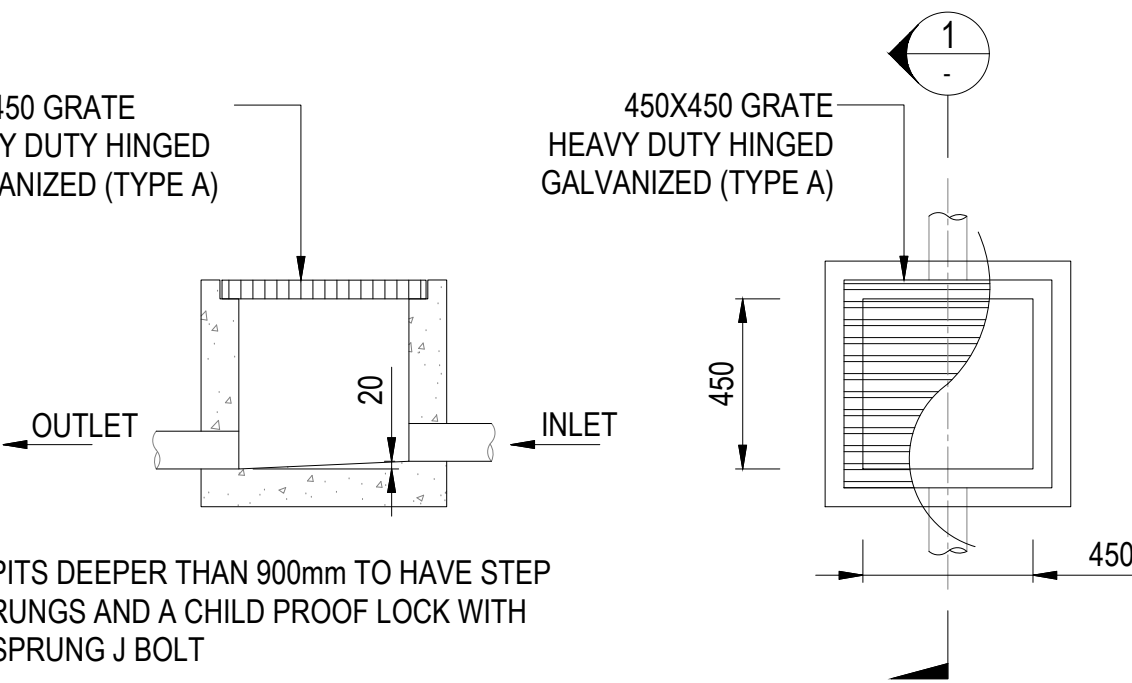
TYPICAL PLANTER DRAINAGE DETAIL
NTS



RAINWATER TANK
SCALE 1:20

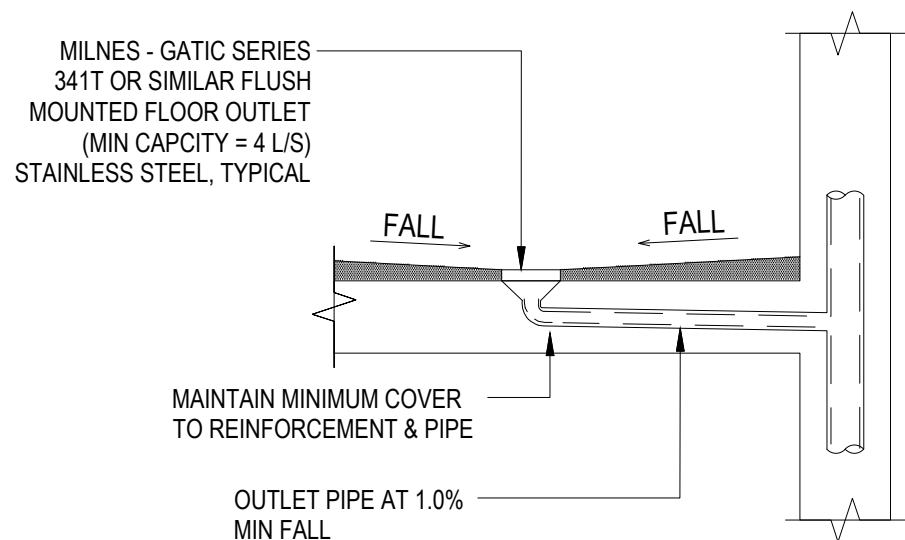


STANDARD GRATED DRAIN
SCALE 1:20



SECTION 1-1
SCALE 1:20

STANDARD PIT
SCALE 1:20



TYPICAL BALCONY FLOOR OUTLET DETAIL
NTS



CONFINED SPACE WARNING SIGN

A CONFINED SPACE DANGER SIGN SHALL BE PROVIDED AT EACH ACCESS POINT OF TANK IN ACCORDANCE WITH COUNCIL'S SPECIFICATION

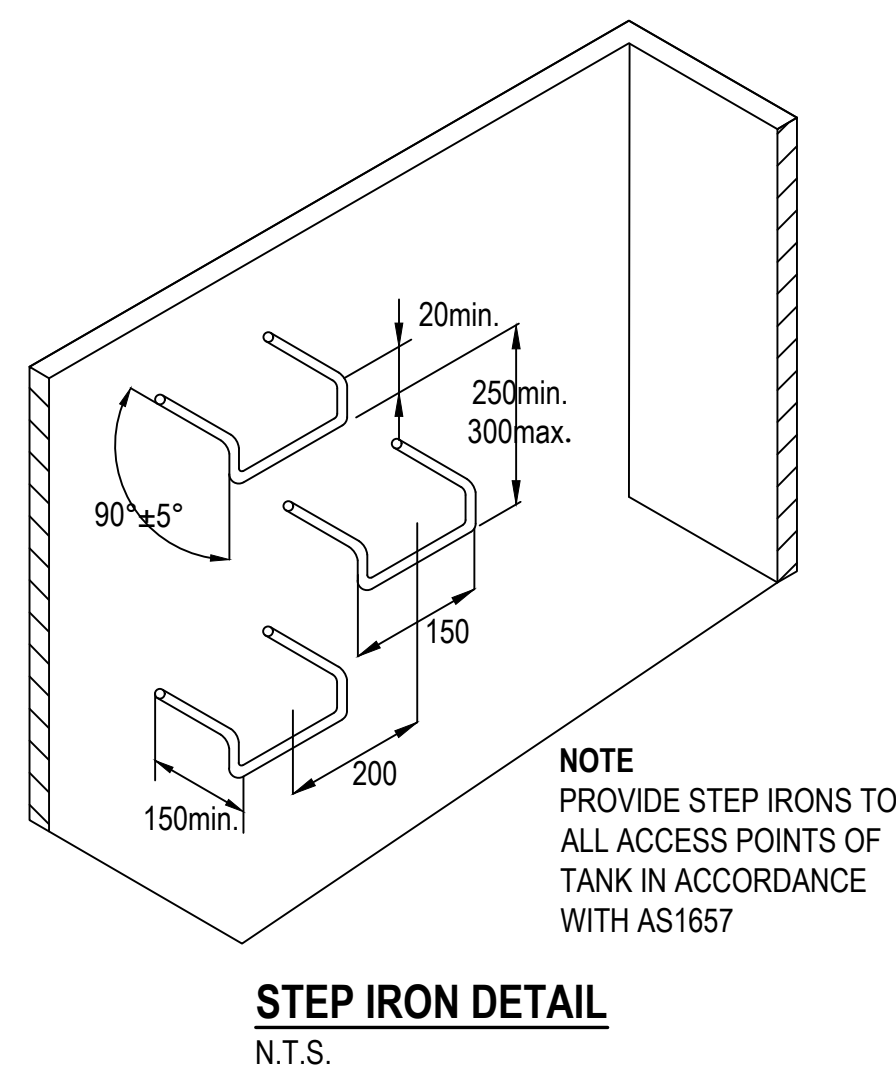
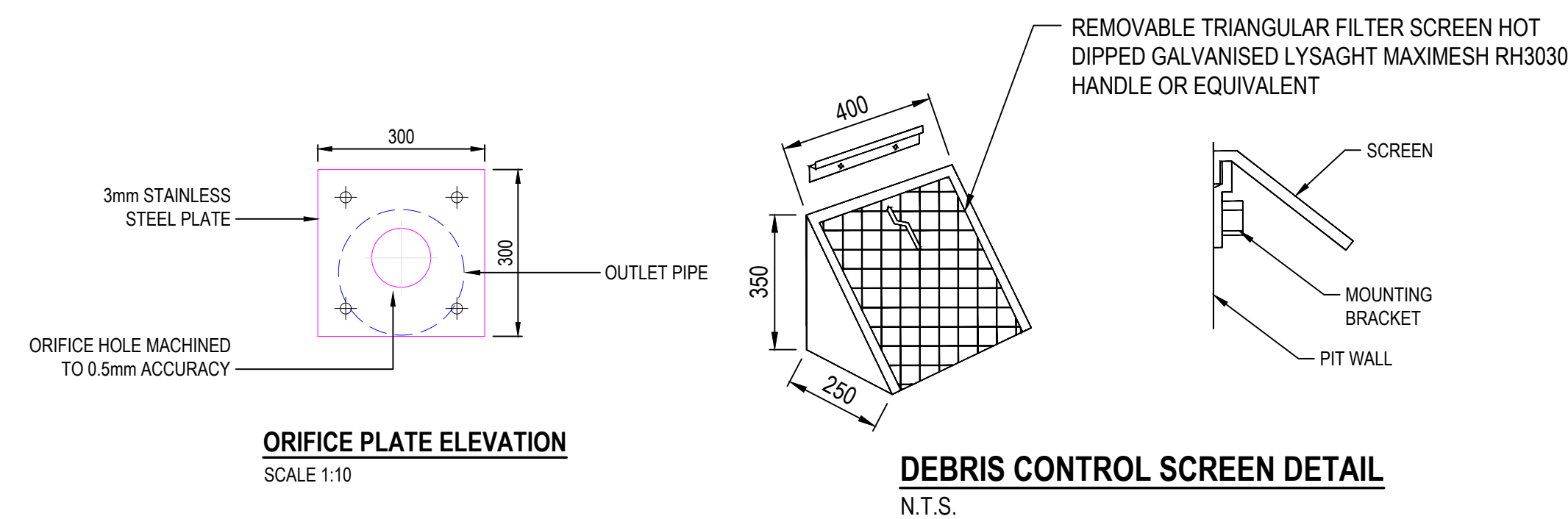
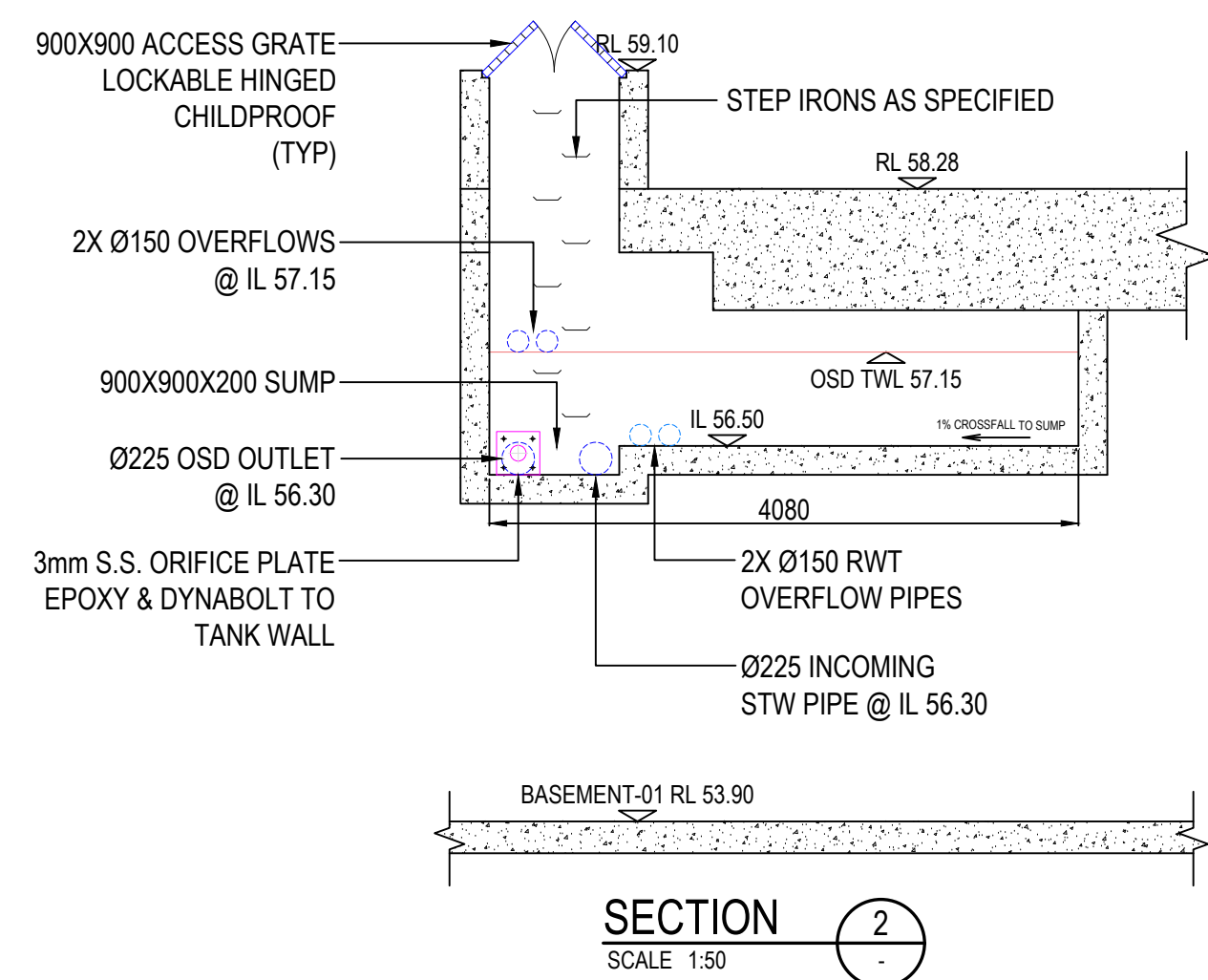
- A. A CONFINED SPACE DANGER SIGN SHALL BE POSITIONED IN A LOCATION AT ACCESS POINTS SUCH THAT IT IS CLEARLY VISIBLE TO PERSONS PROPOSING TO ENTER THE BELOW GROUND TANK.
- B. MINIMUM DIMENSIONS OF THE SIGN:
300mm X 450mm - LARGE ENTRIES, SUCH AS DOORS
250mm X 180mm - SMALL ENTRIES, SUCH AS GATES & MANHOLES
- C. THE SIGN SHALL BE MANUFACTURED FROM COLOUR BONDED ALUMINIUM OR POLYPROPYLENE.
- D. SIGN SHALL BE AFFIXED USING SCREWS AT EACH CORNER OF THE SIGN AND/OR SUITABLE EPOXY GLUE/CEMENT.

MINIMUM INTERNAL DIMENSIONS FOR STORMWATER AND INLET PITS

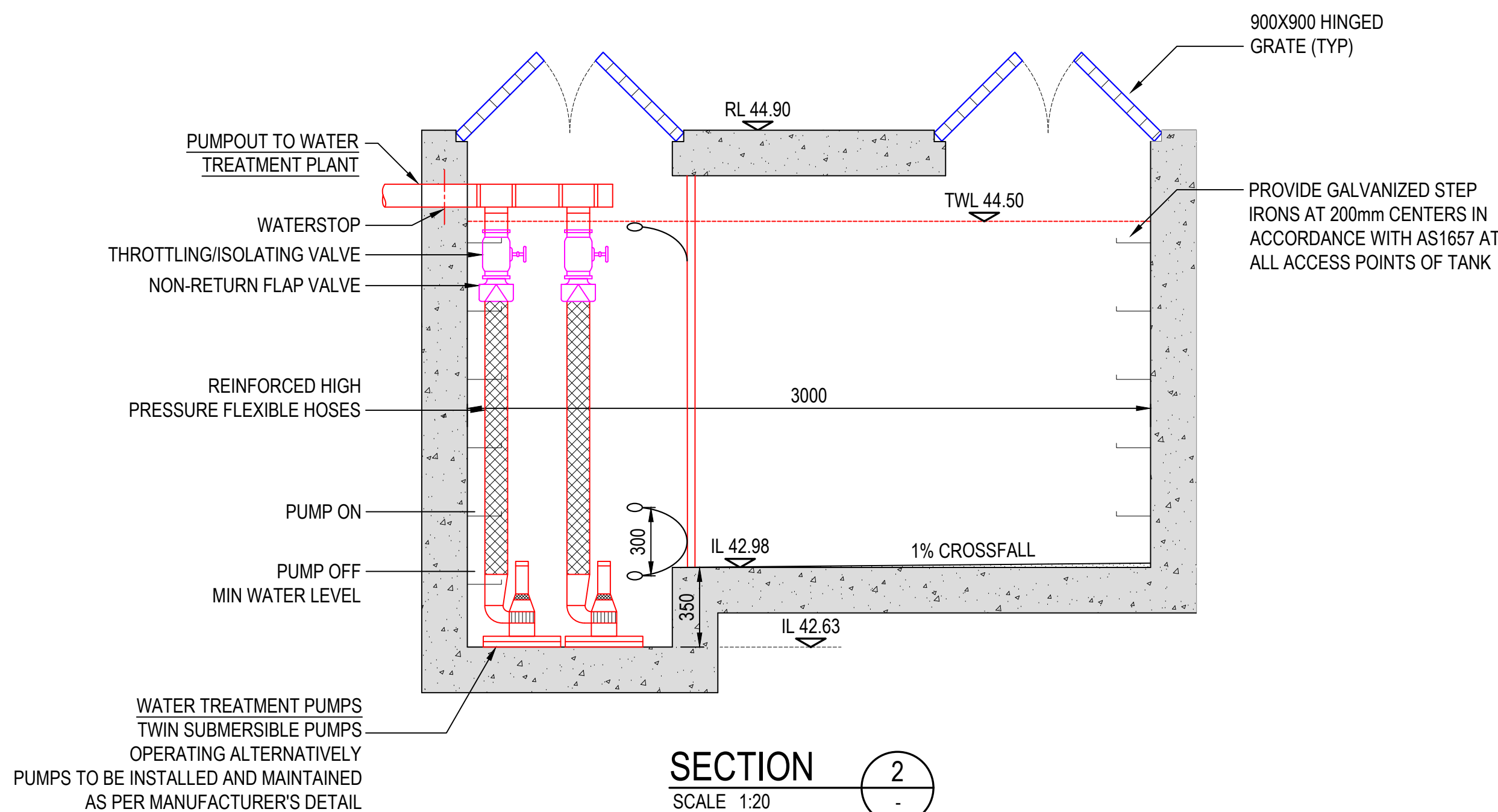
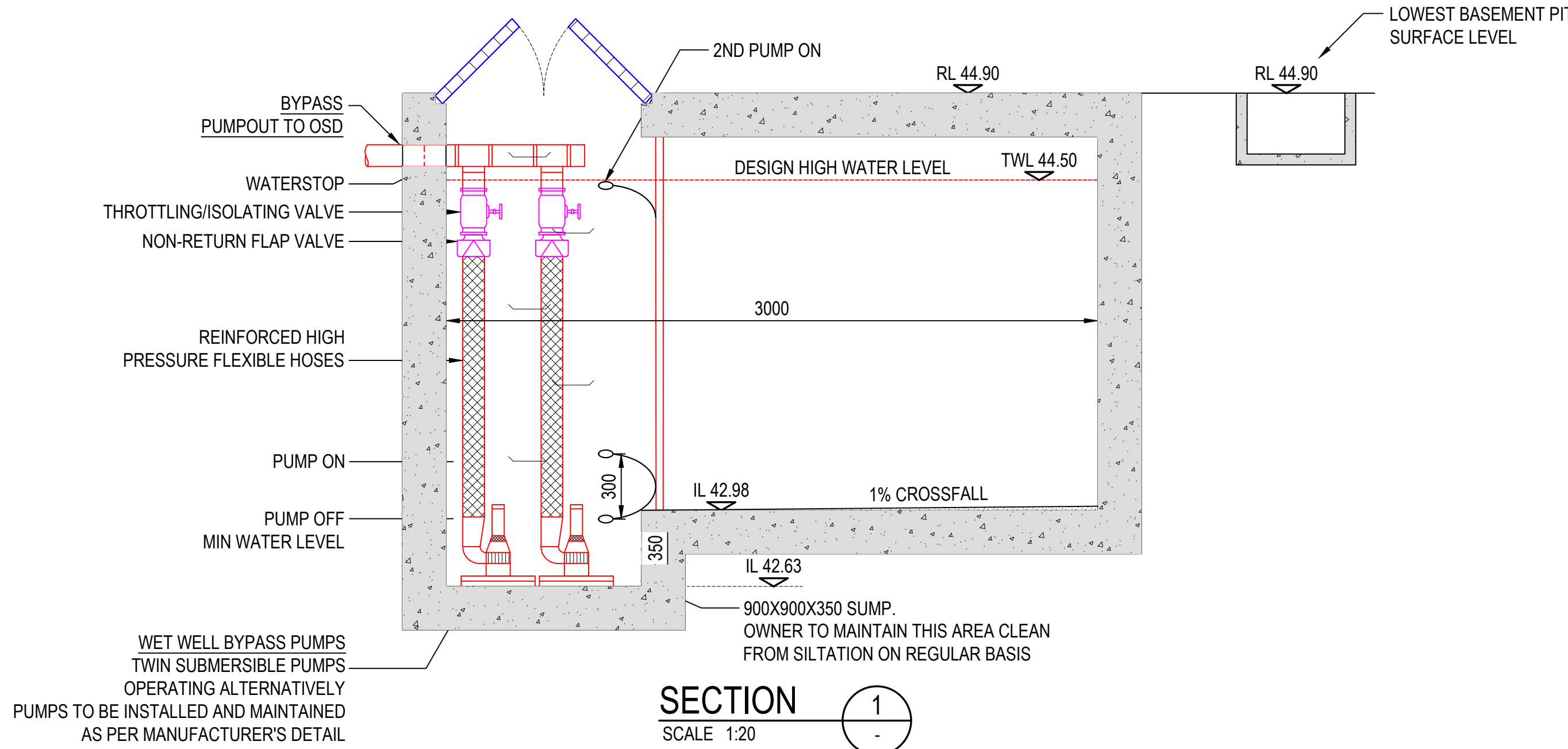
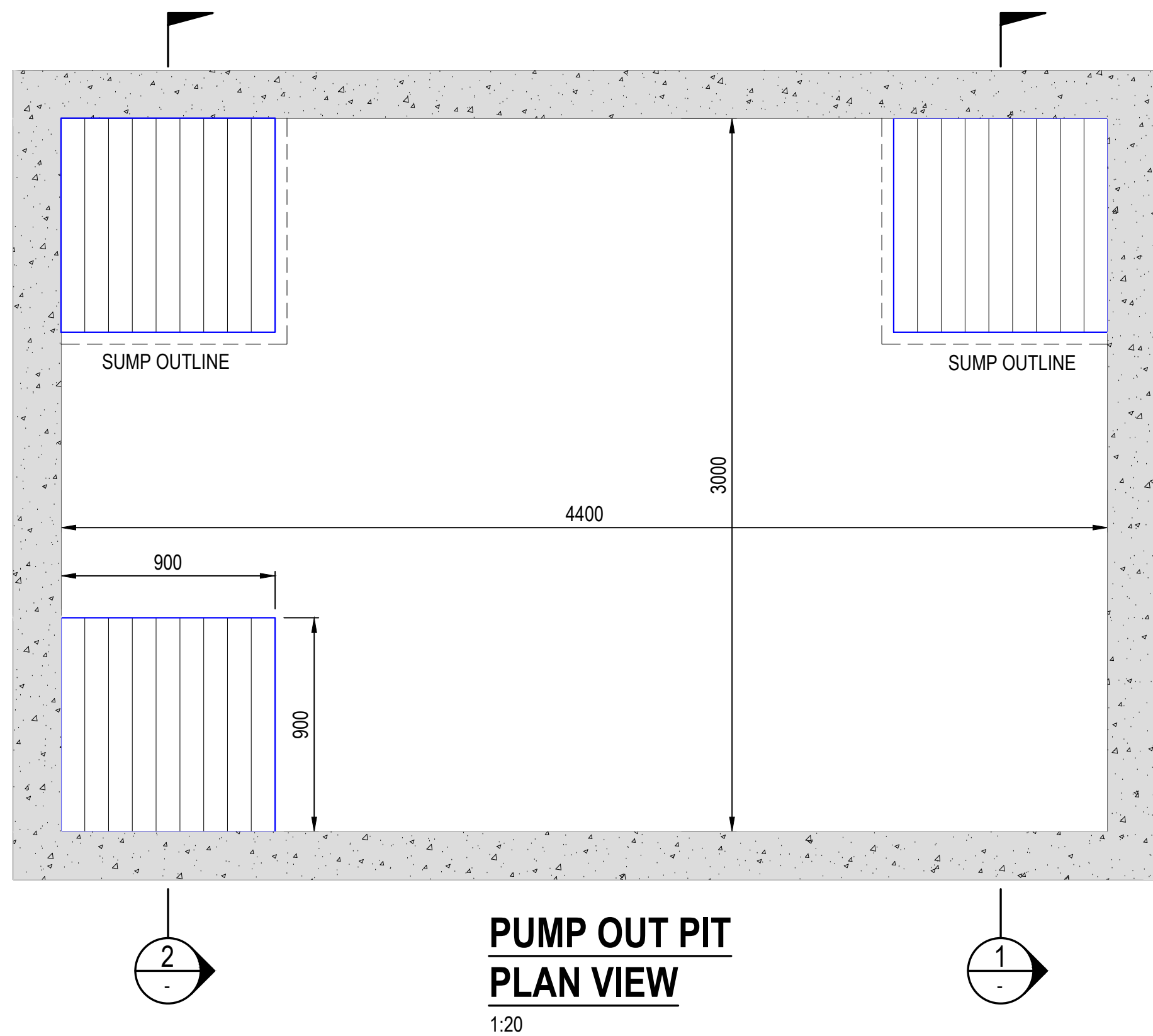
DEPTH TO INVERT OF OUTLET	MINIMUM INTERNAL DIMENSIONS, mm	
	WIDTH	LENGTH
≤600	450	450
>600 ≤900	600	600
>900 ≤1200	600	900
>1200	900	900

STANDARD PIT NOTES

- STEP IRONS SHALL BE PROVIDED UNDER LID TO COUNCIL STANDARDS WHERE PIT DEPTH IS DEEPER THAN 900.
- REINFORCEMENT NOTED IS ONLY REQUIRED FOR PITS EXCEEDING 900 DEEP. SUBJECT TO COUNCIL REQUIREMENTS. PITS GREATER THAN 3000 DEEP WILL REQUIRE STRUCTURAL ENGINEERS DESIGN.
- ALTERNATIVE PIT CONSTRUCTION MAY BE USED SUBJECT TO THE ENGINEERS APPROVAL.
- CONCRETE STRENGTH F_{cd} = 32MPa



<h2 style="margin: 0;">13-19 Canberra Ave, St. Leonards NSW 2065</h2>			
Designer	Muhammad Shahbaz	Project No.	2000192
Date	11-Dec-23	Development Type	Mix Use Residential
Council	Lane Cove Council		
	DCP Part O - Stormwater Management		
	December 2011		
Onsite Detention		Orifice Diameter	
	Total Site Area (A)	2629.00 m ²	Height (TWL-CL) 0.71 m
	Total Impervious Area (B)	1634.00 m ²	Dia <input style="width: 80px;" type="text" value="107"/> mm
	Total Area Draining to Storage Facility (C)	1544.00 m ²	
	New Impervious Bypass Area (D)	90.00 m ²	
	E	1.06 <1.25	
	PSD per m ²	0.013 l/s/m ²	
	PSD <input style="width: 80px;" type="text" value="20.09"/>	l/s	
	SSR	0.0255 m ³ /m ²	
	Storage Required <input style="width: 80px;" type="text" value="41.67"/>	m ³	
	Storage Provided <input style="width: 80px;" type="text" value="44.00"/>	m ³	
		Onsite Retention	
		DA Approved Volume <input style="width: 80px;" type="text" value="3.00"/>	m ³
		Volume Provided <input style="width: 80px;" type="text" value="3.47"/>	m ³



WARNING

PUMP OUT SYSTEM

FAILURE IN BASEMENT WHEN LIGHT IS FLASHING AND SIREN IS SOUNDING

- NOTE:
- SIGN SHALL BE PLACED IN A CLEAR AND VISIBLE LOCATION WHERE VEHICLES ENTER THE BASEMENT.
 - COLOURS
WARNING - RED
ALL OTHERS - BLACK

PUMP OUT FAILURE WARNING DETAILS

Pumpout Pit Size		
Exposed Area Draining to Basement	0	m ²
1% AEP @ 5 minutes	259.9	mm/hr
50% AEP @ 5 minutes	124	mm/hr
Groundwater Inflow Annual Avg	3	ML/year
24 Hr Seepage Volume	8.22	m ³
24 Hr Seepage Volume @ 1% AEP	17.23	m ³
Total Voulme Required	17.23	m ³
Total Voulme Provided	20.06	m ³

Pump Capacity		
Water Treatment Pumps	1 l/s @ 5m	each pump
Wet Well Bypass Pumps	10 l/s @ 18m	each pump
Lift Well Pumps	5 l/s @ 3m	each pump

STANDARD PUMP-OUT DESIGN NOTES

THE PUMP OUT SYSTEM SHALL BE DESIGNED TO BE OPERATED IN THE FOLLOWING MANNER:

- THE PUMPS SHALL BE PROGRAMMED TO WORK ALTERNATELY SO AS TO ALLOW BOTH PUMPS TO HAVE AN EQUAL OPERATION LOAD AND PUMP LIFE.
- A LOW LEVEL FLOAT SHALL BE PROVIDED TO ENSURE THAT THE MINIMUM REQUIRED WATER LEVEL IS MAINTAINED WITHIN THE SUMP AREA OF THE BELOW GROUND TANK. IN THIS REGARD THIS FLOAT WILL FUNCTION AS AN OFF SWITCH FOR THE PUMPS.
- A SECOND FLOAT SHALL BE PROVIDED AT A HIGHER LEVEL, APPROXIMATELY 300mm ABOVE THE MINIMUM WATER LEVEL, WHEREBY ONE OF THE PUMPS WILL OPERATE AND DRAIN THE TANK TO THE LEVEL OF THE LOW LEVEL FLOAT.
- A THIRD FLOAT SHALL BE PROVIDED AT A HIGH LEVEL, WHICH IS APPROXIMATELY THE ROOF LEVEL OF THE BELOW GROUND TANK. THIS FLOAT SHOULD START THE OTHER PUMP THAT IS NOT OPERATING AND ACTIVATE THE ALARM.
- AN ALARM SYSTEM SHALL BE PROVIDED WITH A FLASHING STROBE LIGHT AND A PUMP FAILURE WARNING SIGN WHICH ARE TO BE LOCATED AT THE DRIVEWAY ENTRANCE TO THE BASEMENT LEVEL. THE ALARM SYSTEM SHALL BE PROVIDED WITH A BATTERY BACK-UP IN CASE OF POWER FAILURE.

ENGINEERED BY:

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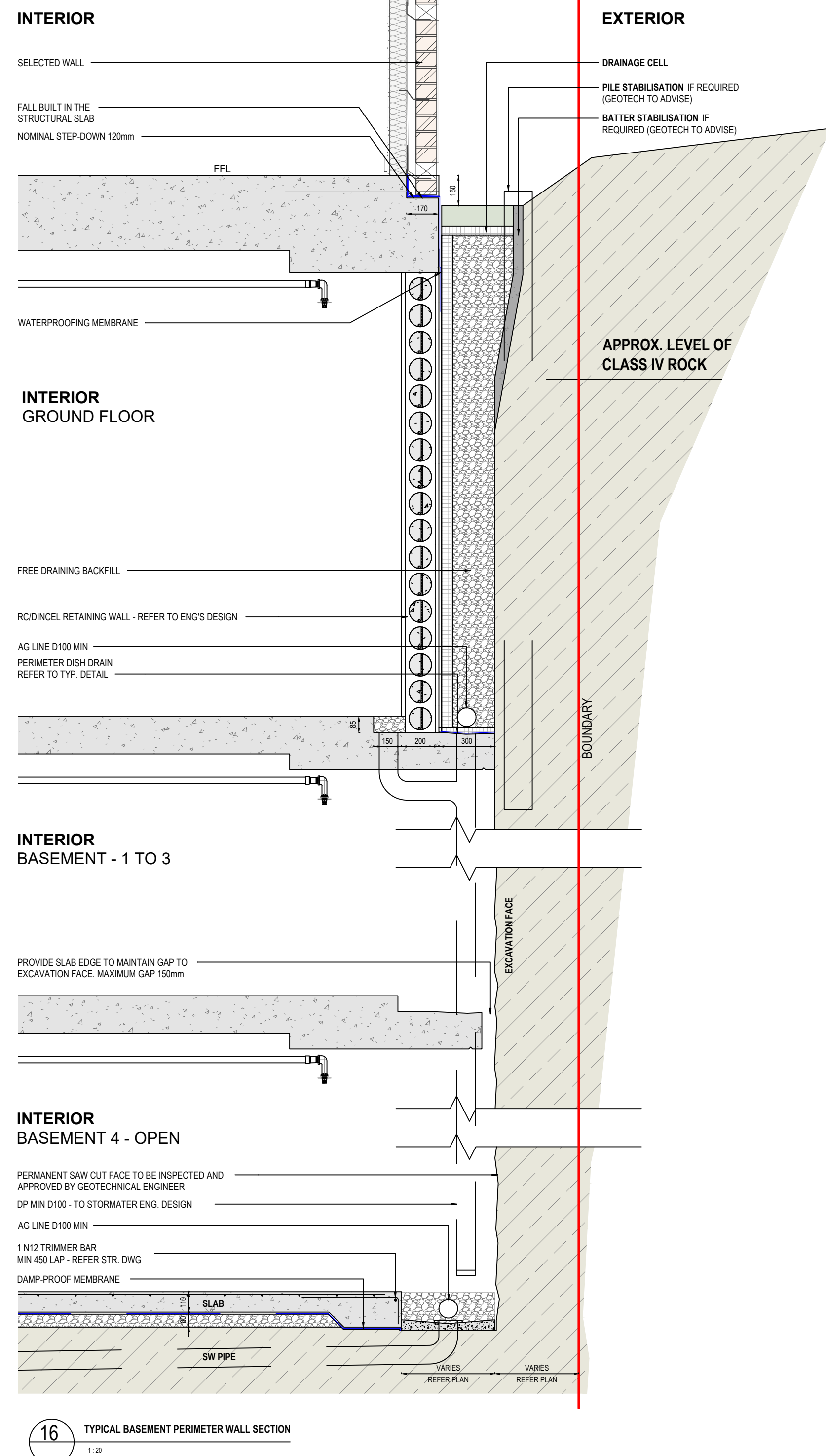
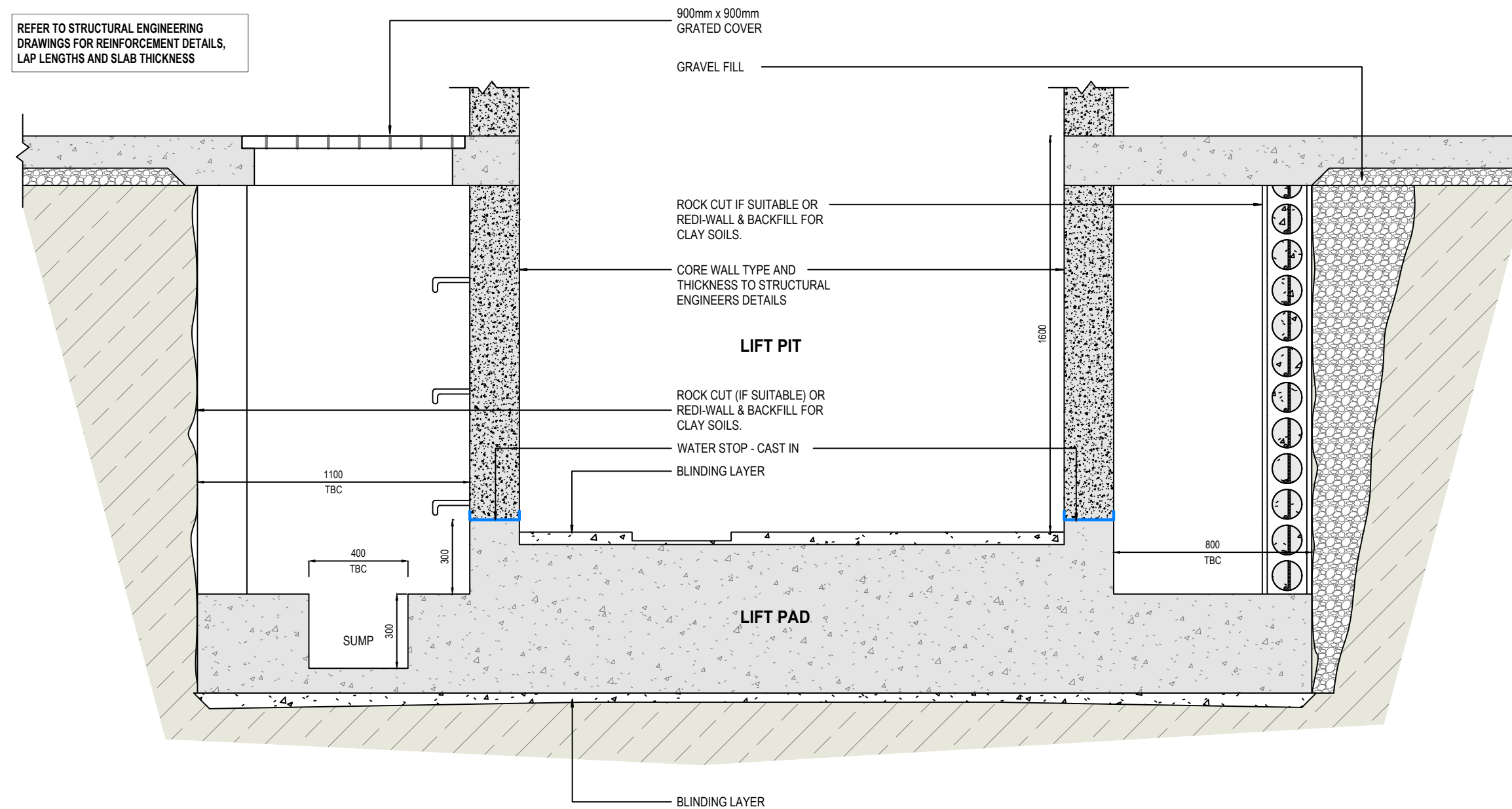
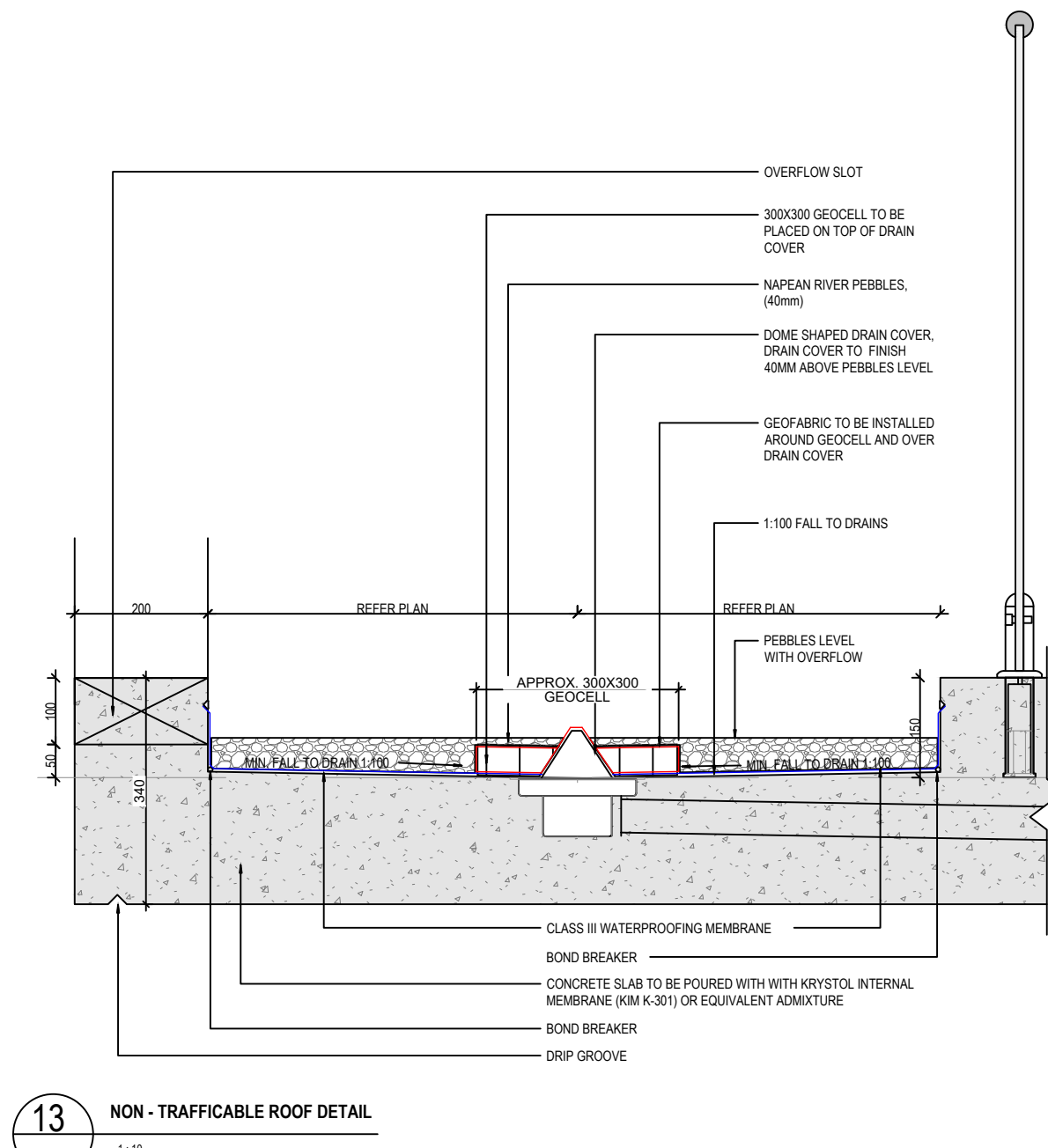
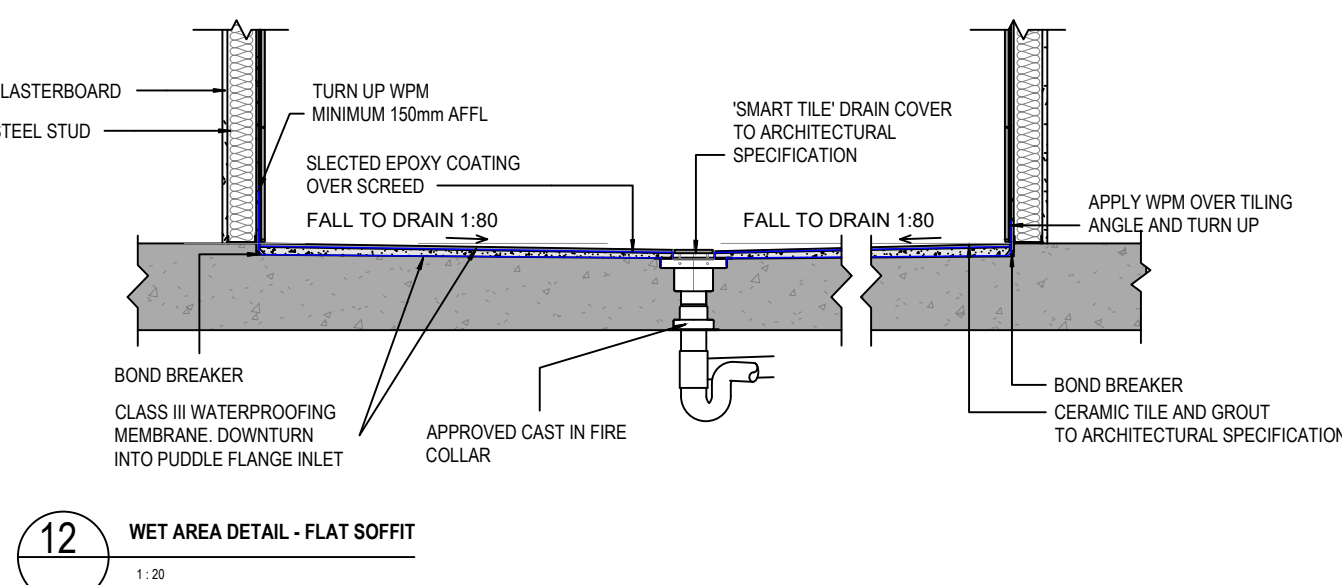
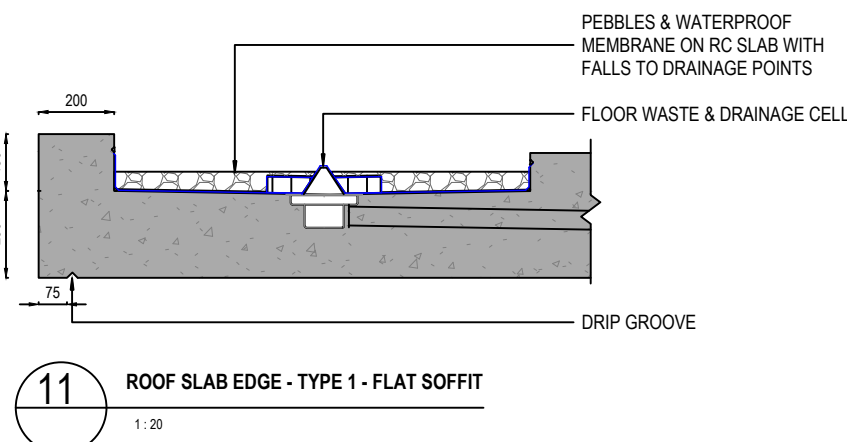
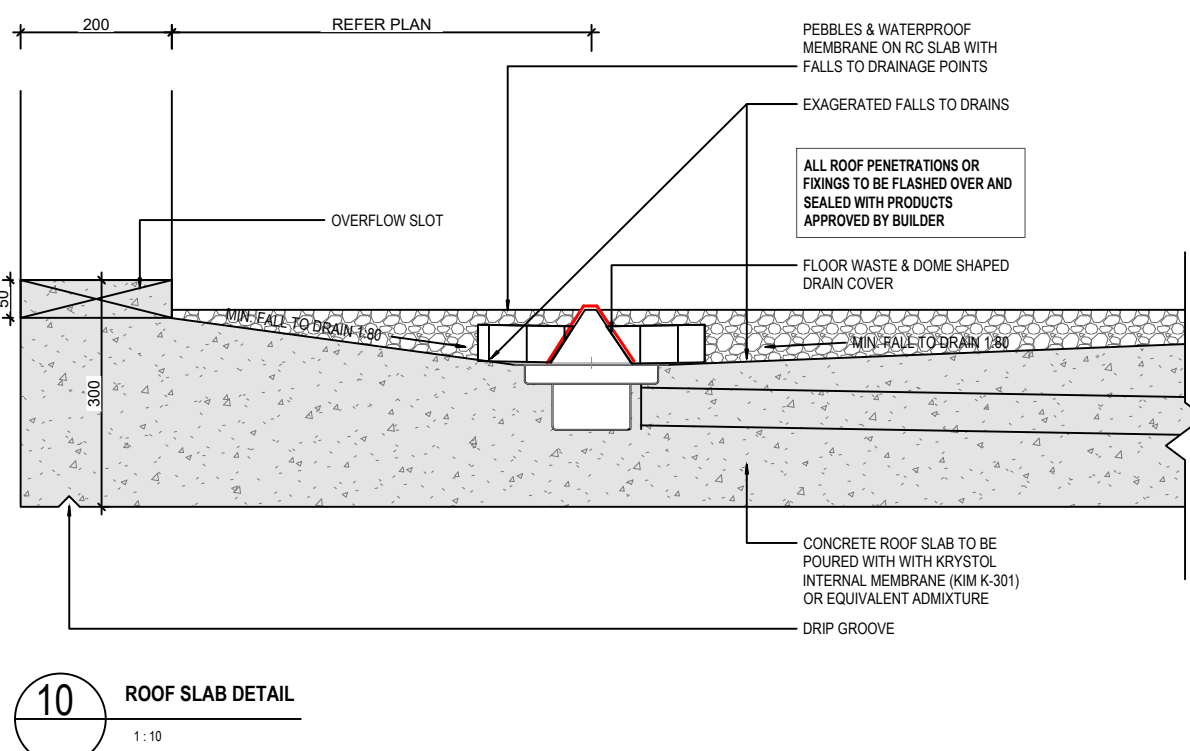
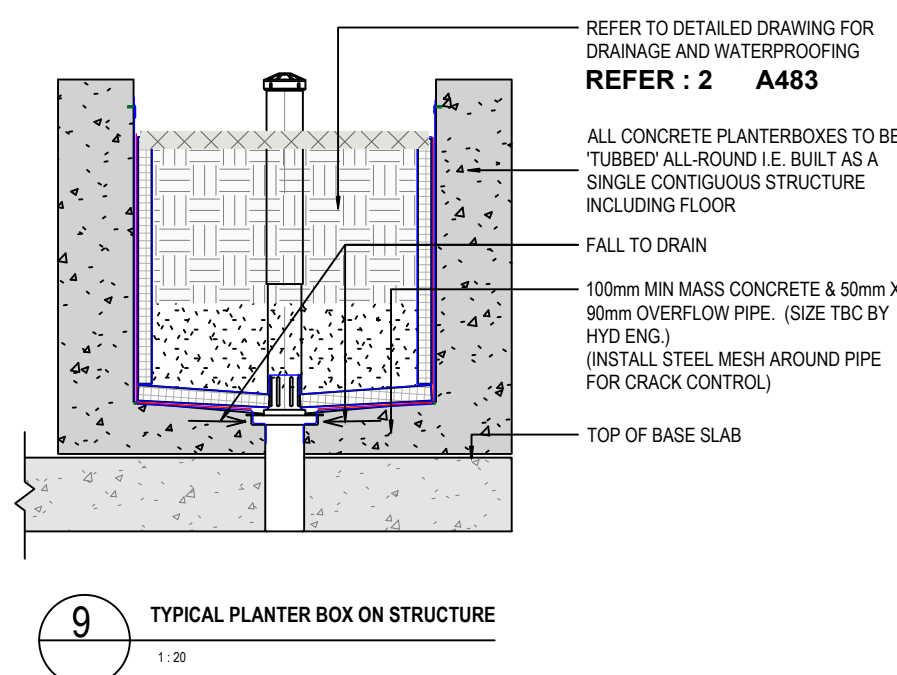
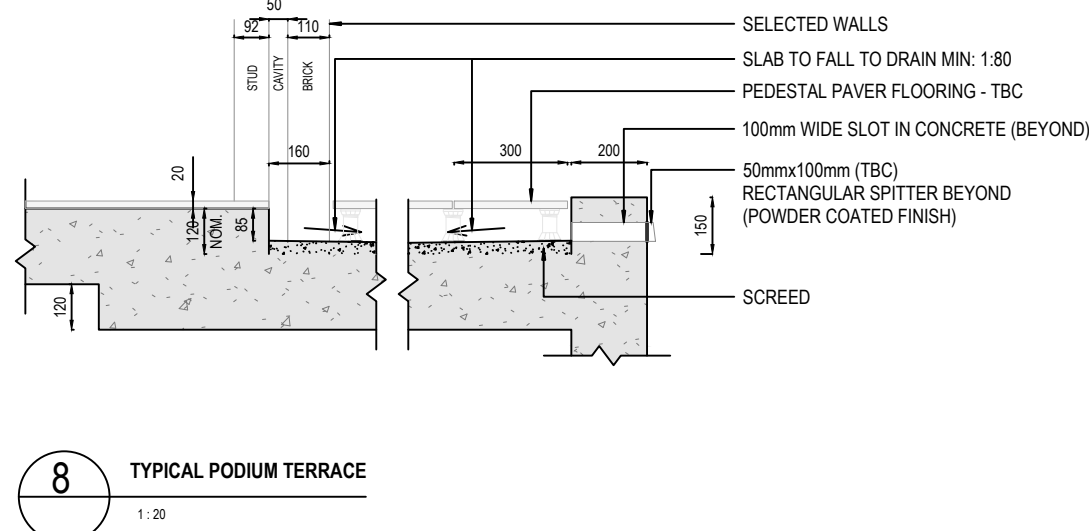
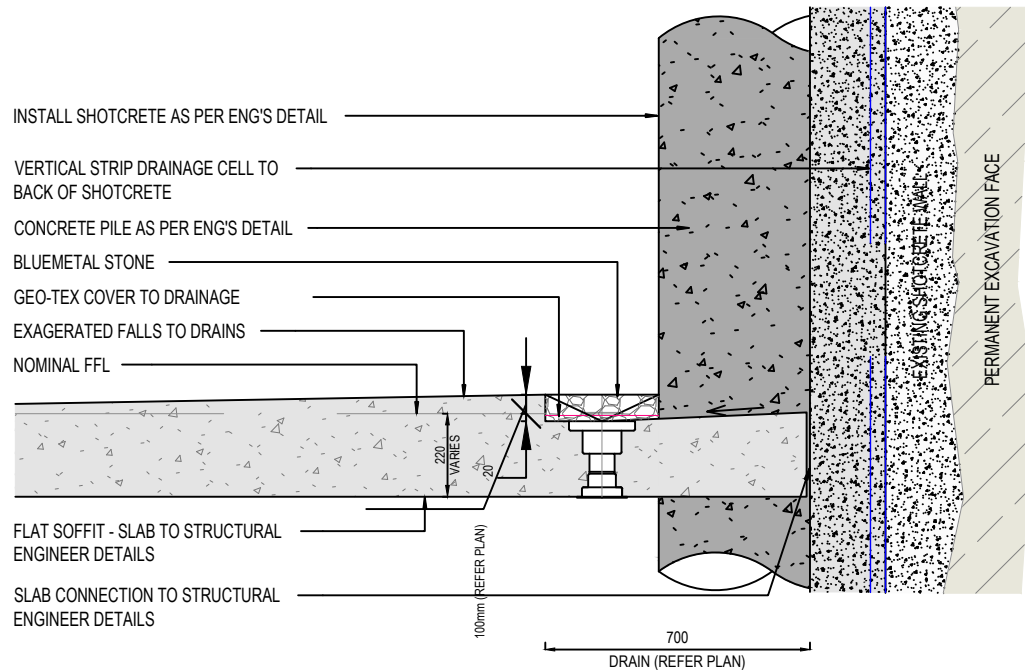
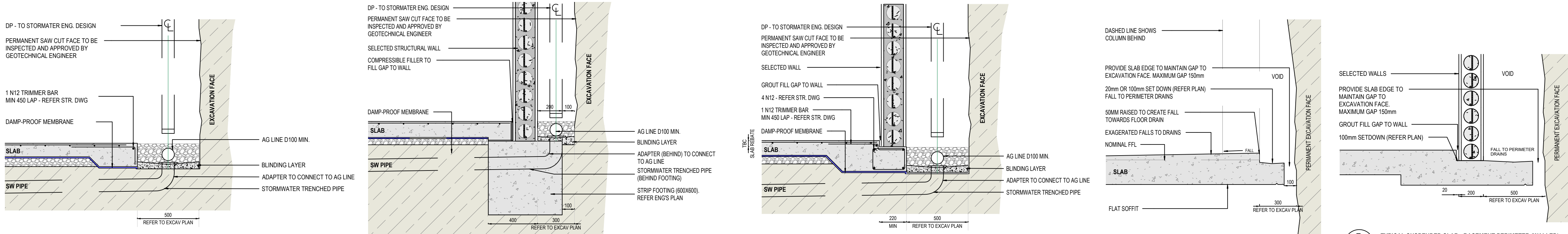
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REV	DATE	REVISION DETAILS	LAST EDITED
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SCALE	SIZE
ASH SHOWN	A1
DRAWN	FS
DESIGNED	MS
VERIFIED	JF

FOR APPROVAL
NORTH POINT

PROJECT	PROPOSED DEVELOPMENT AT 13-19 CANBERRA AVE, ST LEONARDS NSW 2065
DRG. TITLE	STORMWATER SERVICES PUMPOUT PIT DETAILS
DRAWING No.	PROJECT No. 2000192 DISC. - STW - NUMBER 303 REV 1



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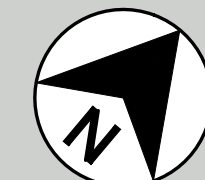
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FOR APPROVAL

NORTH POINT



PROJECT

PROPOSED DEVELOPMENT AT
13-19 CANBERRA AVE, ST LEONARDS NSW 2065

DRG. TITLE

STORMWATER SERVICES
DRAINAGE DETAILS

DRAWING No.

PROJECT No.
2000192

DISC.

STW

NUMBER

401

REV

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